

Section 9: Non-Urban Residential (SR, RH, RR) Zones

9.1 Uses Permitted

No *person* shall within any Non-Urban Residential (SR, RH, RR) *zones*, *use* any lot or *erect, alter* or *use* any *building* or *structure* for any purpose except for one of more of the following *uses* identified by a “dot”.

The Non-Urban Residential *Zones* established by this By-Law are as follows:

SR **Suburban Residential**
RH **Residential Hamlets and Villages**
RR **Rural Residential**

9.1.1 Uses Permitted Table

List of Uses	SR	RH	RR
<i>Dwelling, Single Detached</i>	•	•	•
<i>Group Home</i>		•	

9.2 Zone Requirements

No *person* shall within any Non-Urban Residential (NUR) *Zones*, *use* any *lot* or *erect, alter* or *use* any *building* or *structure* except in accordance with the following provisions.

Suburban Residential (SR) *Zone* and Residential Hamlet (RH) *Zone* are intended for *development* with or without a municipal water supply. Rural Residential (RR) *Zone* is intended for *development* having *private* services.

9.2.1 Zone Requirements Table

Zone Provisions	SR and RH		RR
	Partial Services	Private Services	
Lot Area , Minimum (sq. m)	1000	3000	4000
Lot Frontage , Minimum (metres)	20.0	30.0	40.0
Street Setback , Minimum (metres)	7.5	7.5	20.0
Interior Side Yard Setback , Minimum (metres)	1.5	1.5	5.0
Rear Yard Setback , Minimum (metres)	7.5	7.5	15.0
Lot Coverage , Maximum	30%	30%	30%
Landscaped Open Space , Minimum	30%	30%	30%
Building Height , Maximum (metres)	10.5	10.5	10.5

9.3 Special Exceptions SR Zone

By-Law No.	Zone Code	Description
148-15, 131-18	SR-1	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-1 on Schedule “A” hereto, the permitted <i>uses</i> shall be limited the following:</p> <ul style="list-style-type: none"> (a) one (1) <i>dwelling unit</i> within the <i>existing building</i> on the first floor of the <i>existing structure</i> on the date of passing of this By-Law; (b) Business, Professional Office; (c) Personal Service Establishment; (d) Studio; (e) <i>Medical Office</i> restricted to Physiotherapy, Chiropractor, Massage Therapist, Osteopath, Naturopath and similar uses; <p>A minimum of 25 <i>parking spaces</i> associated with the permitted uses shall be fully contained on the <i>lot</i>.</p> <p>The commercial <i>floor space</i> shall not exceed 450 sq. mt. of the <i>existing building</i> to a maximum of 5 offices.</p> <p>All other requirements of the By-Law shall apply.</p>
05-05, 224-07	SR-2	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-2 on Schedule ‘A’ hereto, an aviary, with a floor area not greater than 34.0 square meters, may be permitted as a residential home occupation within an existing accessory building, and the following shall apply to the to the aviary:</p> <ul style="list-style-type: none"> a) At no time are more than an aggregate of 50 lovebirds, parrots and budgies permitted in the aviary portion of the accessory building, all of which must be no larger than 25 centimetres in length, measured from top of head to bottom of tail. <p>All other requirements of the By-Law shall apply.</p>
55-08	SR-3	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-3 on Schedule “A” hereto, the following regulations shall apply:</p> <ul style="list-style-type: none"> a) an accessory building with a maximum height of 7.6 metres b) the maximum coverage of all accessory buildings shall be 186 square metres c) The parking or storing of a commercial vehicle shall not be permitted. <p>All other requirements of the By-Law shall apply.</p>
104-08	SR-4	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-4 on Schedule “A” hereto, development of these lands shall be in compliance with the regulations of the Agricultural (A) Zone, except that any livestock use or livestock buildings, shall not be permitted.</p>

By-Law No.	Zone Code	Description
		All other requirements of the By-Law shall apply.
142-08	SR-5	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-5 on Schedule "A" hereto, the total lot coverage of accessory buildings shall be 185 square metres and the height of one accessory building shall be 7.0 metres. All other requirements of the By-Law shall apply.
58-09	SR-6	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-6 on Schedule "A" hereto, the minimum <i>front yard setback</i> shall be 20.0 metres. All other requirements of the By-Law shall apply.
165-09	SR-7	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-7 on Schedule "A" hereto, the total lot coverage for all the accessory buildings shall be 270 square meters with a maximum height of 6.1 meters. All other requirements of the By-Law shall apply.
201-11	SR-8	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-8 on Schedule "A" hereto, in addition to uses permitted in the Suburban Residential (SR) Zone, a service shop and contractor's yard for an arborist and a tree cutting business including an area for associated open storage of timber and logs shall also be permitted, subject to the following: a) The total coverage of all buildings associated with the use shall not exceed an aggregate area of 560 square metres and the maximum height of said building shall not exceed 5.0 metres; b) The minimum interior side yard for said buildings shall be 3.0 metres; c) The outside storage area shall not be greater than 4,000 square metres and the height of store material shall not exceed 4.0 metres; and d) no more than nine (9) vehicles related to the business may be on the site; All other provisions of the By-Law shall apply.
180-13	SR-9	Notwithstanding any provision of this By-law to the contrary, within any area zoned SR-9 on Schedule "A" hereto, one (1) accessory building with a maximum lot coverage of 130 square metres and a maximum height of 5.5 metres, with an overall combined floor area of 185 square metres for all accessory structures on the lot shall be permitted. All other requirements of the By-Law shall apply.

By-Law No.	Zone Code	Description
187-17	SR-10	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-10 on Schedule "A" hereto, two single detached dwellings shall be permitted. All other requirements of the By-law shall apply.
Not Available	SR-11	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-11 on Schedule "A" hereto, a dance studio and a service shop for a heating and cooling business shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	SR-12	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-12 on Schedule "A" hereto, a service shop shall also be permitted. All other requirements of the By- Law shall apply.
Not Available	SR-13	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-13 on Schedule "A" hereto, truck parking shall also be permitted provided that the lot coverage for any building or uses associated with the truck use is limited to 5% maximum coverage of the lot. All other requirements of the By-Law shall apply.
Not Available	SR-14	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-14 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a funeral home shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	SR-15	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-15 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a private hospital and home for the aged shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	SR-16	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-16 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a vending supply business involving the storage, maintaining, and retailing of machines and vending supplies shall also be permitted as a home occupation. All other requirements of the By-Law shall apply.
Not Available	SR-17	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-17 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, the growing and retailing of nursery products and related supplies shall also be permitted. The maximum lot coverage for such use shall be 80%. All other requirements of the By-Law shall apply.

By-Law No.	Zone Code	Description
Not Available	SR-18	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-18 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a repair and retailing of furniture shop shall also be permitted with a maximum <i>floor area</i> of 40 square metres. All other requirements of the By-Law shall apply.
Not Available	SR-19	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-19 on Schedule "A" hereto, the repair and retailing of antiques shall also be permitted with a maximum gross floor area of 80 square metres. All other requirements of the By-Law shall apply.
Not Available	SR-20	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned SR-20 on Schedule "A" hereto, an auto body shop limited to a maximum lot coverage of 10% shall also be permitted. A privacy fence or tree planting screen shall be located along the southerly, easterly and westerly boundaries of the lands, and any building or use associated with the auto body shop shall be located within 45 metres of the rear lot line. All other requirements of the By-Law shall apply.
121-02	SR-21	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned SR-21 on Schedule "A" hereto, the storing, display and retailing of wicker products shall also be permitted. This use shall be limited to a maximum floor area of 55 square metres and 6 parking spaces shall be required. All other requirements of the By-Law shall apply.
121-02	SR-22	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned SR-22 on Schedule "A" hereto, a business involved in the display and retail of floor coverings, windows, doors, kitchen and bathroom accessories occupying no more than 550 square metres shall be permitted. All other requirements of the By-Law shall apply.
84-13	SR-23	Notwithstanding any provision of this By-law to the contrary, within any area zoned SR-23 on Schedule "A" hereto, one (1) accessory building with a maximum area of 153 square metres shall be permitted. All other requirements of the By-Law shall apply.
146-02	SR-24	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-24 on Schedule 'A' hereto, the minimum interior side yard width shall be 15 metres. All other requirements of the By-Law shall apply.
Not Available	SR-25	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-25 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, an additional

By-Law No.	Zone Code	Description
		residential unit attached to the main dwelling unit shall also be permitted. All other requirements of the By-law shall apply.
135-03	SR-26	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-26 on Schedule 'A' hereto, an accessory dwelling unit, not smaller than 40 square metres and not larger than 92.9 square metres, within the main dwelling shall be permitted. All other requirements of the By-Law shall apply.
74-02	SR-27	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned SR-27 on Schedule 'A' hereto, the minimum floor area of a one-storey dwelling shall 150 square metres, and the minimum floor area of any other dwelling shall be 200 square metres. All other requirements of the By-Law shall apply.
Not Available	SR-28	Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-28 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, the parking of one tractor trailer truck but no structures accessory to the truck parking shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	SR-29	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-29 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a service shop and associated outside storage area not exceeding 12 metres by 7.5 metres shall also be permitted. A minimum front yard of 15 metres and a minimum side yard of 15 metres shall also be required. All other requirements of the By-Law shall apply.
Not Available	SR-30	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-30 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, a service shop shall also be permitted. No outdoor storage shall be permitted. All other requirements of the By-Law shall apply.
Not Available	SR-31	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned SR-31 on Schedule "A" hereto, an automobile repair garage shall also be permitted. Maximum floor area for the garage shall be 145 square metres and no outside storage of parts or materials shall be permitted. All other requirements of the By-Law shall apply.
83-17	SR-35	Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-35 on Schedule "A" hereto, the minimum lot frontage shall be 26.7 metres and the minimum <i>lot area</i> shall be 0.2 hectares. All other requirements of the By-law shall apply.
83-17	SR-36	Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-36 on Schedule "A" hereto, the minimum lot area shall be 0.23 hectares. All other requirements of the By- law shall apply.

By-Law No.	Zone Code	Description
140-17	SR-40	Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-40 on Schedule "A" hereto, the total area for all accessory structures shall be 325m ² . All other requirements of the By-law shall apply.
120-17	SR-42	<p>Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-42 on Schedule "A" hereto, in addition to the uses permitted in the Suburban Residential (SR) Zone, the sales and repair of bicycles shall also be permitted as a home occupation subject to the following regulations;</p> <ul style="list-style-type: none"> • The home occupation use shall be permitted in the existing detached accessory structures; and • Open storage related to the display of bicycles shall only be permitted as per the regulations stated below; <ul style="list-style-type: none"> • Maximum number of bicycles permitted to be displayed for sale 30; • Display of bicycles shall only be permitted between April 1st to October 31st of each year in accordance with the following minimum setback regulations; • Front lot line 12 metres • West lot line 10 metres • East lot line 0.0 metres • Rear lot line 28 metres <p>All other requirements of the By-law shall apply.</p>
187-17	SR-44	<p>Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-44 on Schedule "A" hereto, the minimum front yard setback shall be 20.0 metres.</p> <p>All other requirements of the By-law shall apply.</p>
9-18	SR-46	<p>Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-46 on Schedule "A" hereto, the following site-specific provisions shall apply;</p> <p>Street Setback (Minimum) 0.0m-Off Elgin Street Rear Yard Setback (Minimum) 5.0m</p> <p>All other requirements of the by-law shall apply.</p>
65-18	SR-48	<p>Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-48 on Schedule "A" hereto, the minimum lot area required shall be 1,950 square metres.</p> <p>All other requirements of the By-Law shall apply.</p>

By-Law No.	Zone Code	Description
142-18	SR-50	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-50 on Schedule “A” attached hereto, the uses shall be limited to the following:</p> <ol style="list-style-type: none"> 1. Single Detached Dwelling Units subject to the following: <ol style="list-style-type: none"> a. Number of Single Detached Dwelling Units (Min.) : 127 units b. Lease Lot area (Minimum): 435m² per unit c. Lease Lot Frontage (Minimum): 15.0 metres per unit d. Building Separation Distance (Minimum): Side Units Walls: 2.5m, Rear Lease Lines: 14.0 metres e. Lease Lot Interior Side Yard Setback (Minimum): 1.2 metres f. Lease Lot Exterior Side Yard Setback (Minimum): 2.5 metres g. Setback from westerly lot line (Minimum): 80.0 metres h. Rear Lease Lot Line Setback from Top of Stable Slope: 6.0m i. Rear Yard Setback from Rear Lease Lot Line (Minimum): 4.0m j. Height (Maximum): 8.0 metres, being 1 storey k. <i>Accessory Structures</i> shall be limited to a hot tub, <i>deck</i> being less than 0.6 metres above <i>grade</i>, and a pergola, except along the west <i>lot line</i> of the development where a <i>deck</i> being greater than 0.6 metres and lesser than 2.5m above grade shall be permitted. l. <i>Home Occupations</i> shall be limited to <i>computer services</i>, instruction of music, arts, and academic subjects, insurance and/or sales agents, and a business or professional office; m. <i>Single Detached Dwellings</i> having <i>frontage</i> on a private street shall be permitted 2. Rowhouse Dwelling Units subject to the following: <ol style="list-style-type: none"> a. Number of Rowhouse Dwelling Units (Min.): 26 Units b. Lease Lot Area (Minimum): 280m² c. Lease Lot Frontage (Minimum): 8.0 metres d. Private Street Setback (Minimum): 5.9 metres e. Building Separation Distance (Minimum): Between Blocks : 2.5 metres, Between Rear Walls: 13.0 metres f. Lease Lot Front Yard Landscaped Open Space (Minimum): 38% g. Height (Maximum): 8.0 metres, being 1 storey h. Lease Lots illustrated within the development are not to be considered <i>lots</i> as defined within this By-Law i. <i>Accessory Structures</i> shall be limited to a hot tub, <i>deck</i> being less than 0.6 metres above <i>grade</i>, and a pergola and shall be

By-Law No.	Zone Code	Description
		<p><i>setback</i> a minimum of 3.0 metres from the rear lease lot line;</p> <ul style="list-style-type: none"> j. Home occupations shall be limited to <i>computer services</i>, instruction of music, arts, and academic subjects, insurance and/or sales agents, and a <i>business or professional office</i>; k. A rowhouse dwelling having frontage on a private street shall be permitted l. All other requirements of the By-Law shall apply <p>3. Private Clubhouse subject to the following</p> <ul style="list-style-type: none"> a. Floor Area (Maximum): 4,500m² b. Setback from Westerly Lot Line (Minimum) 84.0 metres c. Private Street Setback (Minimum): 7.5 metres d. Height (Maximum): 12 metres, being 2.5 storeys e. Parking Spaces (Minimum): 47 f. Accessory structures directly related to the private clubhouse shall also be permitted; g. A private clubhouse having frontage on a private street shall be permitted h. All other requirements of the By-law shall apply. <p>4. Private support office subject to the following:</p> <ul style="list-style-type: none"> a. Floor Area (Maximum): 75m² b. Lease Lot Frontage (Minimum): 30.0 metres c. Lease Lot Area (Minimum): 900.0m² d. Setback from Westerly Lot Line (Minimum): 65.0 metres e. Private Street Setback (Minimum): 7.5 metres f. Height (Maximum): 8.0 metres, being 1 storey g. Parking Spaces (Minimum): 7 h. A <i>building or structure</i> used for security personnel shall also be permitted <p>5. General Requirements for the Development</p> <ul style="list-style-type: none"> a. A total maximum of 153 units shall be permitted b. A private waste water treatment and water supply facility shall be located on the same lease lot as the support office within the development and shall be screened from view by a solid privacy fence with a maximum height of 1.5 metres c. Walkways shall have a minimum width of 3.0 metres d. Private street shall have a minimum width of 6.4 metres e. A minimum of 83 visitor parking spaces shall be provided on site, inclusive of the parking accessory to the clubhouse and support office, including a minimum of 3 barrier free parking spaces

By-Law No.	Zone Code	Description
		<p>f. Fencing shall be provided and maintained along the easterly lot line abutting the existing residential development being 1.5 metres in height</p>
104-19	SR-52	<p>Notwithstanding any provisions of this by-law to the contrary, any area zoned SR-52 on Schedule "A" hereto, the minimum lot frontage for lots 8, 9, 18, & 19 shall be 22.5 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
46-20	SR-54	<p>Notwithstanding any provisions of this By-Law to the contrary, any area zoned SR-54 on Schedule "A" attached hereto, the following site-specific provisions shall apply:</p> <p><i>Street Setback (Minimum): 7.4m</i></p> <p><i>Lot Area (Minimum): 2,935m²</i></p> <p>Additional Provisions:</p> <ul style="list-style-type: none"> • In addition to the occupations defined as a <i>home occupation</i> in Section 3 of this By-Law, a technology development and computer business shall be permitted. • No more than two (2) people who do not reside on the lot may be employed by the <i>home occupation</i> in the SR-54 Zone. <p>All other requirements of this By-law shall apply.</p>
46-20	SR-56	<p>Notwithstanding any provisions of this By-law to the contrary, any area zoned SR-56 on Schedule "A" attached hereto, the following site-specific provisions shall apply:</p> <p><i>Lot Frontage (Minimum): 15 metres</i></p> <p>All other requirements of the By-Law shall apply.</p>

By-Law No.	Zone Code	Description
117-21	SR-57	<p>Notwithstanding any provisions of this By-law to the contrary, any area zoned SR-57 on Schedule "A" attached hereto, the following site-specific provisions shall apply:</p> <p>A frontage of approximately 18.6 metres along Mount Pleasant Road shall be permitted, whereas a minimum of 20 metres (65.6 feet) is required.</p> <p>All other provisions of the By-Law shall apply.</p>
117-21	SR-58	<p>Notwithstanding any provisions of this By-law to the contrary, any area zoned SR-58 on Schedule "A" attached hereto, the following site-specific provisions shall apply:</p> <p>A frontage of approximately 18.6 metres along Mount Pleasant Road shall be permitted, whereas a minimum of 20 metres (65.6 feet) is required.</p> <p>All other provisions of the By-Law shall apply.</p>
17-22	SR-59	<p>A frontage of approximately 17.0 metres (55.8 feet) along Mount Pleasant Road shall be permitted, whereas a minimum of 20 metres (65.6 feet) is otherwise required.</p> <p>All other provisions of the By-Law shall apply.</p>
93-22	SR-60	<p>A minimum lot area of 1,643 square metres (17, 685 square feet) and a minimum frontage of 27 metres (88.6 feet) in the Suburban Residential (SR) zone, on private services.</p>
54-23	SR-61	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned SR-61 on Schedule "A" hereto, the following site-specific provisions shall apply:</p> <ul style="list-style-type: none"> - To permit an area of approximately 737.51 square meters (0.18 acres), whereas a minimum of 1,000 square meters (0.25 acres) is required. - To permit frontage of 7.82 metres (25.66 feet), whereas a minimum 20 metres (65.62 feet) is required. - To permit exterior side yard setback of 5.0 metres (16.40 feet) , whereas a minimum of 7.5 metres (24.61 feet) is required.

9.4 Special Exceptions RH Zone

By-Law No.	Zone Code	Description
95-05	RH-1	Notwithstanding anything in this By-Law to the contrary, within any area zoned RH-1 on Schedule "A" hereto, no frontage on a <i>public street</i> shall be required. All other requirements of the By-Law shall apply.
224-06	RH-2	Notwithstanding any provision in this By-Law to the contrary, within any area zoned RH-2 on Schedule 'A' hereto, the minimum <i>west side yard setback</i> shall be 20.0 metres. All other requirements of the By-Law shall apply.
93-07	RH-3	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-3 on Schedule "A" hereto, an <i>accessory building</i> with a total <i>gross floor area</i> of 158 square metres and a <i>height</i> of 6.1 metres shall be permitted. The <i>building</i> may be used for the indoor storage of equipment and materials for a landscaping business. All other requirements of the By-Law shall apply.
14-09	RH-4	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-4 on Schedule "A" hereto, an <i>accessory building</i> with a maximum <i>height</i> of 7.6 metres shall be permitted and the maximum coverage of all <i>accessory buildings</i> shall not exceed 160.5 square metres. All other requirements of the By-Law shall apply.
90-11	RH-5	Notwithstanding any provision of this By-law to the contrary, within any area zoned RH-5 on Schedule "A" hereto, the total <i>gross floor area</i> of all <i>accessory buildings</i> and <i>structures</i> shall be 150 square meters with a maximum <i>height</i> of 11.6 metres shall be permitted. All other requirements of the By-Law shall apply.
75-12	RH-6	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-6 on Schedule "A" hereto, in addition to the <i>uses</i> permitted in the Residential Hamlet (RH) Zone, <i>vehiclesales</i> and an <i>automobile repair garage</i> shall also be permitted, subject to the following requirements: <ul style="list-style-type: none"> a) no more than six (6) <i>vehicles</i> may be located on the <i>lot</i> for sales or repair at any time; b) sales and repair be limited to the sales and repair of passenger cars and light trucks, no sales or repair of a <i>commercial vehicle</i> is permitted; All other requirements of the By-Law shall apply.
56-05, 53-13	RH-7	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-7 on Schedule "A" hereto, in addition to the <i>uses</i> permitted in the Residential Hamlet (RH) Zone the maximum number of nutrient units permitted in a barn existing as of January 1, 2005, shall be five (5) and the livestock shall be restricted to Animal Group One as described on Schedule "B" of the By-Law (horses and/or chicken broilers). All other requirements of the By- Law shall apply.

By-Law No.	Zone Code	Description
177-13	RH-8	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-8 on Schedule "A" hereto, one (1) accessory building with a maximum floor area of 154 square metres and a maximum height of 5.4metres shall be permitted. All other requirements of the By-Law shall apply.
Not Available	RH-9	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned RH-9 on Schedule "A" hereto, in addition to the uses permitted in Residential Hamlet (RH) Zone, the parking of two transport trucks and trailers shall also permitted. All other requirements of the By-Law shall apply.
Not Available	RH-10	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned RH-10 on Schedule "A", a cartage and transport/truck terminal shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	RH-11	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned RH-11 on Schedule "A" hereto, in addition to the uses permitted in the Residential Hamlet (RH) Zone, an abattoir shall be permitted subject to it being located a minimum of 120 metres from any dwelling on adjoining properties. All other requirements of the By-Law shall apply.
Not Available	RH-12	Notwithstanding the provisions of this By-Law to the contrary, within any area zoned RH-12 on Schedule "A" hereto, a modular dwelling /mobile home as a single detached dwelling may be used as the main dwelling. All other requirements of the By-Law shall apply.
Not Available	RH-13	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned RH-13 on Schedule "A" hereto, in addition to the uses permitted in Residential Hamlet (RH) Zone, the parking of one transport truck including tractor and trailer shall also permitted. All other requirements of the By-Law shall apply.
122-12	RH-14	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-14 on Schedule "A" hereto, the minimum right (west) side yard shall be 30.0 metres and the dwelling shall have no more than one (1) habitable storey fully above grade. All other requirements of the By-Law shall apply.
4-16	RH-15	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-15 on Schedule "A" hereto, a rear yard setback of 0.2 m for a detached accessory structure existing on the date of January 20, 2016 shall be permitted. All other requirements of the By-Law shall apply.
Not Available	RH-16	Notwithstanding anything in this By-Law to the contrary, within any area zoned RH-16 on Schedule "A" hereto, in addition to the uses permitted in the Residential Hamlet (RH) Zone, a service shop having a maximum gross floor area of 144 square metres shall also be permitted.

By-Law No.	Zone Code	Description
		All other requirements of the By-Law shall apply.
118-16	RH-20	<p>Notwithstanding any provision of this by-law to the contrary, within any area zoned RH-20 on Schedule "A" hereto, the following development standards shall apply;</p> <ul style="list-style-type: none"> • Decreased frontage on a public street (Bishopsgate Road) 19.96m; • A lot shall not require frontage on a Public street; • A lot is considered to be the land area which constitutes a unit of a Condominium Corporation; • Lot area, lot frontage, and yards shall be determined as if the common element road were a Public street; <p>All other requirements of the By-Law shall apply.</p>
144-18	RH-22	<p>Notwithstanding any provision of this by-law to the contrary, within any area zoned RH-22 on Schedule "A" hereto, a minimum exterior side yard setback of 9.0 metres shall apply from East River Road to a dwelling.</p> <p>All other requirements of the by-law shall apply.</p>
88-20	RH-24	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RH-24 on Schedule "A" hereto, in addition to the permitted uses, a residential home occupation including a culinary school, instruction of arts, including meditation and martial arts, and all other home occupation uses as defined in By-Law 61-16. In addition, that the uses be permitted to have up to twelve (12) customers/clients, two (2) employees, and that these uses be limited to a maximum size of 80 square metres in the existing structure.</p> <p>All other requirements of the By-Law shall apply. (Map 15).</p>
5-21	RH-25	<p>A minimum lot area of 2750 square metres shall be permitted.</p> <p>All other requirements of the By-law shall apply.</p>
16-22	RH-26	<p>To permit an undersized lot area of approximately 2,394 square metres (25,768.8 square feet), whereas a minimum of 3,000 square metres (32,291.2 square feet) is required.</p> <p>All other provisions of the Zoning By-Law apply.</p>
44-23	RH-27	<p>A minimum lot frontage of 12.5 metres (41) feet shall be permitted. All other requirements of the By-Law shall apply.</p>

9.5 Special Exceptions RR Zone

By-Law No.	Zone Code	Description
206-06	RR-1	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-1 on Schedule "A" hereto, the minimum <i>front yard setback</i> shall be measured from Robinson Road and a <i>lot</i> shall be considered a <i>building lot</i> notwithstanding having no frontage within a <i>development Zone</i> . All other requirements of the By-Law shall apply.
203-07, 204-06, 73-09	RR-2	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-2 on Schedule "A" hereto, the minimum <i>front yard</i> shall be 30.0 metres. All other requirements of the By-Law shall apply.
65-08, 240-06	RR-3	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-3 on Schedule "A" hereto, the minimum <i>lot area</i> shall be 3,000 square metres and the minimum <i>floor area</i> for the <i>dwelling</i> unit shall be 205 square metres. All other requirements of the By-Law shall apply.
121-02	RR-4	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-4 on Schedule "A" hereto, in addition to the <i>uses</i> permitted in the Rural Residential (RR) <i>Zone</i> , an agricultural feed establishment in an <i>existing building or structure</i> shall also be permitted. All other requirements of the By-Law shall apply.
Not Available	RR-5	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-6 on Schedule "A" hereto, in addition to the <i>uses</i> permitted in the Rural Residential (RR) <i>Zone</i> , a <i>service shop</i> in an <i>existing building or structure</i> shall also be permitted. All other requirements of the By-Law shall apply.
121-02, 83-03	RR-6	Notwithstanding any provision of this By-Law to the contrary,, within any area zoned RR-6 on Schedule 'A' hereto, the minimum <i>lot frontage</i> shall be 35 metres and the minimum <i>interior side yard</i> shall be 3 metres. All other requirements of the By-Law shall apply.
141-03	RR-7	Notwithstanding any other provision of this By-Law to the contrary, within any area zoned RR-7 on Schedule "A" hereto, habitable space may be permitted in a cellar. All other requirements of the By-Law shall apply.
24-03, 158-03	RR-8	Notwithstanding any other provision of this By-Law to the contrary, within any area zoned RR-8 on Schedule 'A' hereto, the total maximum <i>floor area of accessory buildings</i> shall be 223 square metres and the maximum <i>height</i> of an <i>accessory building</i> shall be 7.3 metres. All other requirements of the By-Law shall apply.
111-04	RR-9	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-9 on Schedule "A" hereto, the total maximum floor area of accessory buildings shall be 330 square metres and the maximum height

By-Law No.	Zone Code	Description
		of one (1) accessory building shall be 6.1 metres. All other requirements of the By-Law shall apply.
188-04	RR-10	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-10 on Schedule "A" hereto, the total maximum floor area of accessory buildings shall be 157 square metres and a maximum height of 6.6 metres shall be permitted. All other requirements of the By-Law shall apply.
161-10	RR-11	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-11 on Schedule "A" hereto, the total maximum floor area of accessory buildings shall be 245 m ² . All other requirements of the By-Law shall apply.
84-10	RR-12	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-12 on Schedule "A" hereto, the total maximum floor area of accessory buildings shall be 223 m ² and the maximum height of one (1) accessory building shall be 7.3 meters. All other requirements of the By-Law shall apply.
202-11	RR-13	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-13 on Schedule "A" hereto, the total maximum floor area of accessory buildings shall be 320 square metres and a maximum height of 5.2 metres shall be permitted. All other requirements of the By-Law shall apply.
74-12	RR-14	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-14 on Schedule "A" hereto, in addition to the uses permitted in the Rural Residential (RR) Zone, a facility for the boarding of a maximum of 58 domestic household cats (<i>Felis catus</i>) in an existing 98 square metre building shall also be permitted. All other requirements of the By-Law shall apply.
157-13	RR-15	Notwithstanding anything is this By-Law to the contrary, within any area zoned RR-15 on Schedule "A" hereto, no part of any dwelling shall be located closer than 117 metres to a livestock facility located at 24 McBay Road. All other requirements of the By-Law shall apply.
40-14	RR-16	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-16 on Schedule "A" hereto, the minimum front yard shall be 10.0 metres. All other requirements of the By-Law shall apply.
115-14 161-17	RR-17	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-17 on Schedule "A" hereto, a deficient lot area of 0.21 ha and a minimum lot frontage of 34 metres shall be permitted. All other requirements of the By-Law shall apply.
Not Available	RR-18	Notwithstanding any provisions of this By-Law to the contrary, within any area zoned RR-18 on Schedule "A" hereto, the lot frontage shall be 50

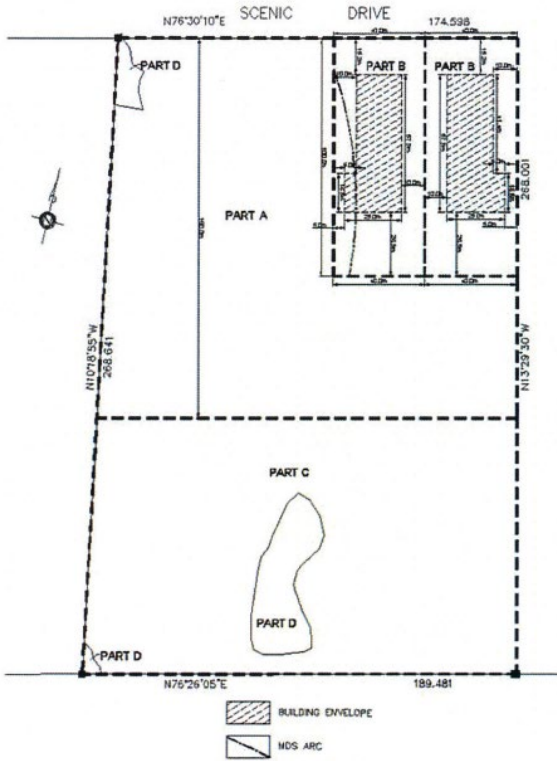
By-Law No.	Zone Code	Description
		<p>metres, the front yard shall be 15 metres and the exterior side yard shall be 15 metres. The minimum ground floor area of dwelling units shall be 232.25 square metres for a one (1) story or split-level structure and 139.35 square metres for a structure one and a half (1 1/2) storeys or greater. Where no basement is provided, the minimum ground floor area shall be increased by 18.58 square metres.</p> <p>All other requirements of the By-Law shall apply.</p>
180-03	RR-19	<p>Notwithstanding any other provisions in this By-Law to the contrary, within any area zoned RR-19 on Schedule 'A' hereto, an accessory building a maximum height of 8.5 metres shall be permitted.</p> <p>All other requirements of the By-Law shall apply.</p>
202-03	RR-20	<p>Notwithstanding any provision in this By-Law to the contrary, within any area zoned RR-20 on Schedule 'A' hereto, the front yard setback shall be 60 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
168-05	RR-21	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-21 on Schedule "A" hereto, an accessory building with a maximum height of 7.0 metres shall be permitted. The minimum rear yard, measured from the top of bank, shall be 15.0 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
82-06	RR-22	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-22 on Schedule "A" hereto, an accessory building with a maximum floor area of 290 square metres shall be permitted and no more than one (1) accessory building shall be 8.9 metres in height provided that such accessory building is setback at least 10.0 metres from any lot line.</p> <p>All other requirements of the By-Law shall apply.</p>
150-06	RR-23	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-23 on Schedule "A" hereto, development may be permitted on the following basis:</p> <ul style="list-style-type: none"> a) The maximum number of dwelling units shall be eight (8). b) For the purpose of this By-Law, a lot is considered to be the land area which constitutes a unit of a condominium corporation. c) Individual lots do not require frontage on a public street. d) The minimum lot area shall be 4,000 square metres. e) The minimum front yard and exterior side yard shall be 10 meters. f) For the purpose of determining lot area, lot coverage, landscaped area and development setbacks, a lot does not include any portion of the common elements.

By-Law No.	Zone Code	Description
		<p>g) Lot area, lot frontage, development setbacks and yard configuration shall be determined as if the common element road were a public street.</p> <p>h) No building or structure, including a swimming pool or any part of a sewage system, shall be permitted within 14.0 metres of Brant Road (Highway No. 24).</p> <p>All other requirements of the By-Law shall apply.</p>
137-07	RR-24	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-24 on Schedule “A” hereto, the following provisions shall apply:</p> <p>a) The minimum lot frontage shall be 36.0 metres at the northerly lot line.</p> <p>b) The main building must be setback at least 6.0 metres from the edge of water of Blue Lake and 6.0 metres from any lot line.</p> <p>c) The maximum gross floor area of all accessory buildings, including the existing boat house in its existing location, permitted shall be 163 square metres.</p> <p>All other requirements of the By-Law shall apply.</p>
11-09	RR-25	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-25 on Schedule “A” hereto, an existing one-storey accessory building with a total floor area not exceeding 350 square metres shall be permitted.</p> <p>All other requirements of the By-Law shall apply.</p>
76-13	RR-26	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-26 on Schedule “A” hereto, the maximum lot coverage for all accessory structures shall not exceed 158m² with a maximum height of 8.53 metres and may be located 24.0 metres from the front lot line.</p> <p>All other requirements of the By-Law shall apply.</p>
97-13, 134-13	RR-27	<p>Notwithstanding any provision of the By-Law to the contrary, within any area zoned RR-27 on Schedule “A” hereto, the minimum front yard shall be 40.0 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
162-13	RR-28	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-28 on Schedule “A” hereto, the following shall apply; an increased front yard setback of 65m. All other requirements of the By-Law shall apply.</p>
119-03	RR-29	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-29 on Schedule ‘A’ hereto, following regulations shall apply:</p> <p>a) Minimum Lot Area: 1 hectare</p> <p>b) Minimum Lot Frontage: 60 meters</p>

By-Law No.	Zone Code	Description
		<p>c) Minimum Front Yard: 75 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
138-03, 139-03	RR-30	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-30 on Schedule 'A' hereto, following regulations shall apply:</p> <p>a) Minimum Lot Area: 1 hectare</p> <p>b) Minimum Lot Frontage: 60 meters</p> <p>c) Minimum Rear Yard: 80 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
241-04	RR-31	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-31 on Schedule 'A' hereto, following regulations shall apply:</p> <p>a) Minimum Lot Area: 1 hectare</p> <p>b) Minimum Lot Frontage: 60 meters</p> <p>c) Minimum Front Yard: 20 metres.</p> <p>All other requirements of the By-Law shall apply.</p>
221-05	RR-32	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-32 on Schedule "A" hereto, a dwelling unit shall not be permitted.</p> <p>All other requirements of the By-Law shall apply.</p>
162-08, 39-11	RR-33	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-33 on Schedule 'A' hereto, following regulations shall apply:</p> <p>a) Minimum Lot Area: 1 hectare</p> <p>b) Minimum Lot Frontage: 50 meters</p> <p>All other requirements of the By-Law shall apply.</p>
7-10, 118-03, 120-03, 119-03, 114-03, 221-05, 231-07	RR-34	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-34 on Schedule 'A' hereto, following regulations shall apply:</p> <p>a) Minimum Lot Area: 1 hectare</p> <p>b) Minimum Lot Frontage: 60 meters</p> <p>c) Minimum Street Setback: 25 metres.</p> <p>d) Minimum Interior Side Yard Setback: 6 meters</p> <p>e) Minimum Rear Yard Setback: 15 meters</p> <p>All other requirements of the By-Law shall apply.</p>
6-10	RR-35	<p>Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-35 on Schedule "A" hereto, in addition to the uses permitted in the Rural Residential (RR) Zone, a converted dwelling shall be a permitted use.</p>

By-Law No.	Zone Code	Description
		All other requirements of the By-Law shall apply.
225-10	RR-36	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-36 on Schedule "A" hereto, the minimum lot frontage shall be 12.0 metres. All other requirements of the By-Law shall apply.
118-15	RR-37	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-37 on Schedule "A" hereto, an accessory structure with a maximum height of 7.0 meters, maximum gross floor area of 450 m ² , for the purposes of storing up to 4 commercial vehicles and up to 4 construction vehicles/equipment shall be permitted. All other requirements of the By-Law shall apply.
25-17	RR-38	Notwithstanding any provision of this by-law to the contrary, within any area zoned RR-38 on Schedule "A" hereto, the following development standards shall also apply for all buildings and structures: Maximum street setback 80.0m; Minimum northerly interior side yard setback 9.0m; and Minimum southerly interior side yard setback 3.0m; All other requirements of the By-law shall apply.
105-16	RR-45	Notwithstanding any provision of this by-law to the contrary, within any area zoned RR-45 on Schedule "A" hereto, an accessory structure with a maximum height of 7.0m, and total maximum gross floor area of 450m ² , for the purpose of storing a maximum of 4 commercial vehicles and maximum of 4 construction vehicles/equipment, accessory to a residential home occupation, shall be permitted. All other requirements of the By-Law shall apply.
161-16	RR-47	Notwithstanding any provision of this by-law to the contrary, within any area zoned RR-47 on Schedule "A" hereto, a maximum height of 7.5m and a total gross floor area of 255m ² for all accessory structures combined shall be permitted. All other requirements of the By-law shall apply.
119-03 42-16	RR-49	Notwithstanding any provision of this by-law to the contrary, within any area zoned RR-49 on Schedule "A" hereto, an accessory structure with a maximum height of 5.7m shall be permitted. The maximum total gross floor area combined for all detached accessory structures shall be 375m ² . The following regulations shall apply: a) Minimum Lot Area: 1 hectare b) Minimum Lot Frontage: 60 meters c) Minimum Front Yard: 75 metres.

By-Law No.	Zone Code	Description
		All other requirements of the By-law shall apply.
64-18	RR-51	Notwithstanding any provision of this by-law to the contrary, within any area zoned RR-51 on Schedule "A" hereto, a lot area of 3,586 square metres shall be permitted. All other requirements of the By-Law shall apply.
77-21	RR-53	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-53 on Schedule "A" hereto, the following site-specific provisions shall apply: <ul style="list-style-type: none"> - That the "south lot" be rezoned with the following: - To require a 49.4 metre (162.1 feet) street setback along the north property line and a 75 metre (246.1 feet) street setback on the southern property line to reflect the MOS radius. - To rezone a portion from Rural Residential (RR) to Natural Heritage (NH) to implement a 10 metre (32.8 feet) vegetation protection zone from the rear of the property as indicated on the following schedule. This vegetation protection zone is to be maintained as natural self-sustaining vegetation in which no buildings, structures, and/or site alteration are to be permitted. All other provisions of the By-Law to apply. (Map 24)
77-21	RR-54	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR-54 on Schedule "A" hereto, the following site-specific provisions shall apply: <ul style="list-style-type: none"> - That the "north lot" be rezoned with the following: - To require a 30 metre (98.4 feet) minimum vegetation protection zone from the wetland as mapped by GRCA. The vegetation protection zone is to be maintained as natural self-sustaining vegetation in which no buildings, structures and/or site alteration are to be permitted. All other provisions of the By-Law apply. (Map 24)

41-22	RR-58	Notwithstanding any provision of this By-Law to the contrary, within any area zoned RR58, the minimum rear yard setback for any dwelling unit shall be 75 metres. All other requirements of the By-Law shall apply.
50-22	RR-59	<p>Notwithstanding any other provisions of this By-law, the lands described on Schedule 'A' of By-Law 50-22 and as follows:</p> <p>ALL AND SINGULAR that certain parcel of tract of land and premises situate, lying and being in the County of Brant and Province of Ontario being composed of CON 3 PT SUB LOT 3 EGR RP 2R2315 PART 2 REG, 12.07ac, 573.05FR D, in the former Township of South Dumfries, known as 526 Scenic Drive, County of Brant.</p> <p>And as illustrated on Schedule 'B' of By-Law 50-22 and as follows: And notwithstanding any other provisions of this By-Law, shall be subject</p> <p>CON 3 PT SUB LOT 3 EGR RP 2R2315 PART 2 REG, 12.07ac, 573.05FR D, in the former Township of South Dumfries, known as 526 Scenic Drive, County of Brant</p>  <p>THIS IS SCHEDULE "B" TO BY-LAW NO. 2022- <u>50</u> PASSED THIS <u>24</u> DAY OF <u>May</u>, 2022</p> <p>to the following:</p> <p>a) The lands described on Schedule 'A' and illustrated as Part A on Schedule 'B' attached to and forming part of By-Law 50-22 may be used for the uses permitted in the Rural Residential (RR) zone.</p>

		<p>b) The lands described on Schedule 'A' and illustrated as Parts B on Schedule 'B' attached to and forming part of By-Law 50-22 may be used for those uses permitted in the Rural Residential Zone (RR) subject</p> <p>i) The permitted residential building and its associated private wastewater sewage treatment facility, accessory building(s), and all structures (including a swimming pool, basketball court, tennis court etc.) must be located within the area shown as "Building Envelope" on Parts B on the map forming Schedule "B" of By-Law 50-22</p> <p>ii) Notwithstanding any provision of this by-law to the contrary any habitable buildings must comply with Minimum Distance Separation and must be located at the east of outside of the "MDS" Arc as illustrated on Schedule "B" of By-Law 50-22.</p> <p>iii) Notwithstanding any provision of the by-law to the contrary, a single lane driveway for each lot to access Scenic Drive will be permitted to be located outside of the Building Envelope as shown on Schedule "B"</p> <p>c) The lands described on Schedule 'A' and illustrated as Part C on Schedule "B" attached to and forming part of By-Law 50-22 may be used for those uses permitted in the Agriculture (A) zone.</p> <p>d) The lands described on Schedule 'A' and illustrated as Part D on Schedule "B" attached to and forming part of By-Law 50-22 shall be zoned Natural Heritage (NH)</p> <p>Except as amended by preceding regulations, the lands described on Schedule 'A' and shown on Schedule 'B' attached to and forming part of By-Law 50-22 shall be subject to all other applicable regulations as set down in By-law 61-16, as amended.</p>
95-22	RR-60	A minimum rear yard setback of 10.0m shall be permitted.
75-23	RR-61	A front yard setback of 15 metres shall be permitted, whereas a minimum of 20 metres is otherwise required, and a maximum lot coverage of 394 square metres for accessory structures shall be permitted, whereas a maximum of 140 square meters would be otherwise permitted
78-23	RR-62	<p>Due to species at risk in the area, no building, structures, access, servicing, uses and site alteration shall be permitted unless authorized by the County of Brant and, where applicable, written authorization has been obtained under the Endangered Species Act.</p> <p>All other requirements of the By-Law shall apply.</p>