



Appendix 1: Environmental Impact Study Waiving Assessment Application Form

June 2024

**Policy Planning Unit
Development Services Department
County of Brant**
*66 Grand River St. North
Paris, Ontario N3L 2M2*

2024 ENVIRONMENTAL IMPACT STUDY WAIVING ASSESSMENT APPLICATION FORM

County of Brant Policy Planning Unit, Development Services Department,
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BACKGROUND

Terms of Reference Guideline

The County of Brant developed an Environmental Impact Studies (EIS) and Environmental Implementation Plans (EIP) Terms of Reference Guideline, which is available at <https://www.brant.ca/en/planning-and-development/development-toolbox.aspx>. The Guideline has information on topics such as:

- Engagement with interested Indigenous Communities to incorporate traditional knowledge on preserving Indigenous species and natural areas of significance to communities.
- An overview of legislation, policies, and guidelines.
- Adhering to a hierarchy of conservation whereby preservation of features must be considered a priority with development being designed around natural areas.
- Using a natural heritage and water resource systems approach whereby features are connected to one another as opposed to isolating individual features.
- Achieving minimum habitat stewardship objectives such as 30 m vegetated buffers adjacent to streams.
- Applying a climate change lens to protect natural areas including those that may not be significant but important due to their mitigating impacts on climate change.
- Incorporating greenspaces as part of development for the social and recreational values they provide.
- Information on EIS and EIP requirements including where an EIS may be scoped or waived.

Waiving Assessment Application Form

Unless otherwise approved by the County, this Application Form must be completed by the applicant's environmental consultant with expertise in natural heritage and hydrologic evaluations and impacts of development and site alteration on natural areas. Early and on-going dialogue is encouraged with County Environmental Planning staff in addition to Six Nations Wildlife and Stewardship Office (SNWSO).

This EIS Waiving Assessment Application Form will be used to determine if an EIS may be waived for a proposed project on a site-specific basis. County staff may consider waiving an EIS where it is determined that no useful purpose would be served by completion of an EIS. Exempting an EIS may depend on matters including but not limited to:

- The size, nature, and intent of the proposed project and the site's land use planning context.
- The presence of potential and known natural heritage and hydrologic features, areas, and systems.
- Natural heritage and hydrologic features proposed for preservation versus removal.
- Vegetation protection zones (VPZs) and linkages proposed to be maintained as self-sustaining vegetation and/or enhanced with a diversity of native wildflowers, shrubs, and trees.
- Proposed mitigation measures such as sediment and erosion control.
- How the proposed preservation measures will be implemented and sustained in the long run such as through natural heritage zoning.
- The overall anticipated impacts of a proposed project on the natural environment.

Where an EIS is waived, preservation, mitigation and enhancement measures may be required as part of an Environmental Implementation Plan (EIP), Landscape Plan, Tree Inventory Preservation and Compensation Plan or similar plan. The lands may also be required to be zoned natural heritage to ensure their long-term protection.

Once the Form is submitted, it will be reviewed by the County's Environmental Planner. Submission of this Form does not guarantee that an EIS will be waived.

It is the applicant's responsibility to ensure that the project complies with applicable law such as the *Fisheries Act*, *ESA*, *SAR*, or *Conservation Authorities Act*.

Indigenous Consultation

Applicants must conduct meaningful engagement with SNWSO and MCFN, where interested. Simply reading comments does not constitute meaningful engagement. Engagement shall include meeting with interested communities in a format of their choice, providing reasonable resources for participation including capacity

funding, maintaining a record of consultation, discussing concerns, and reaching a consensus on how to incorporate feedback.

Native Plants

Sites must be enhanced with a diversity of native seed mixes, shrubs, and trees. The following sources should be consulted for native species and what species to avoid:

- Kayanase Greenhouse Native Plant List for the Carolinian Life Zone
<https://www.kayanase.ca/greenhouse/>
- A Guide for Southern Ontario - Grow Me Instead
<https://www.ontarioinvasiveplants.ca/resources/grow-me-instead/>
- Tree Atlas Ontario
<https://www.ontario.ca/environment-and-energy/tree-atlas>
- Tallgrass Ontario
<https://tallgrassontario.org/wp-site/>
- Ontario Wildflowers, Grasses, Trees and Shrubs
<http://ontariowildflowers.com/>
- Canadian Wildlife Federation Website (
<https://cwf-fcf.org/en/explore/gardening-for-wildlife/plants/buy/native-plant-suppliers/native-plant-suppliers>)

Complete Application

For an EIS to be waived this Application Form must be approved by the County. If an EIS is not approved to be waived, an EIS Terms of Reference must be approved by the County and all items included in the EIS, for an application to be deemed complete. Examples of applications include those under the *Planning Act* or *Municipal Act* (e.g. site alteration or tree by-law).

<p>STEP 1: SUMMARY OF PROPOSAL AND COUNTY DECISION ON WAIVING EIS A Cover Letter may be Submitted with Supplementary Data</p>
<p>Decision Issued by County Environmental Planning Staff: Date: Decision Made: <input type="checkbox"/> An EIS may be waived subject to implementing the project as proposed in this Application Form including all preservation, enhancement, mitigation, and implementation measures. <input type="checkbox"/> The Project is not eligible for the EIS to be waived. Contact the County's Environmental Planner to obtain an EIS Terms of Reference Checklist</p>
<p>Property Address:</p>
<p>Proposal Submitted by Environmental Consultant (name, consulting firm):</p>
<p>Date:</p>
<p>Site Visit and/or Discussions held with County Environmental Planning staff or County representative: Date:</p>
<p>Proposal circulated to Six Nations Wildlife and Stewardship Office (SNSWO). Outline meaningful engagement that has occurred such as through direct discussions and how feedback has been addressed. Provide proof of engagement where available:</p>
<p>Summary of Proposal: The decision made on waiving an EIS is based on information provided in this Application Form. Should the proposed project or constraints change, such as a woodland no longer being proposed for preservation, the applicant must consult with the County to determine if a new Waiving Application Form or EIS Terms of Reference is required. Please provide a summary of: a) The proposed development including buildings, structures, servicing, access, parking, outdoor storage, grading, drainage, and any other site alteration:</p>

- b) Trees, woodlands, wetlands, and other natural areas proposed for preservation and/or removal:**

- c) Proposed vegetation protections zones (VPZs) and linkages to be maintained as self-sustaining vegetation:**

- d) Proposed compensation for any trees or other features proposed for removal** (For trees, compensation should be based on size and quality of trees removed with larger trees resulting in greater compensation, with a minimum 2:1 ratio. Applicants are advised that the County is in the process of developing a Tree Technical Manual and Community Forest Strategy, which will provide more detailed direction on compensation related to individual trees and woodlands. Outline whether replanting is proposed on site, as cash-in-lieu or a combination of both. For plantings on site, a diversity of native seed mixes, shrubs and plants shall be used. Trees shall have a minimum height of 1 metre and a circumference of 3 inches unless otherwise approved by the County):

- e) Proposed mitigation measures** (e.g. silt fencing, spill response plan):

- f) Proposed enhancement measures through planting VPZs, linkages and other areas:**

- g) How the proposed measures will be implemented. There must be a method of ensuring such preservation measures are implemented and remain in place (e.g. zoning, conditions of approval, agreements, securities):.**

An Environmental Implementation Plan (EIP) or similar plans must be submitted to illustrate the proposed development, preservation, enhancement, mitigation, and any compensation measures. Applicants may provide preliminary plans through this Application Form, with more detailed plans to be provided as part of an application (e.g. site plan, plan of subdivision). Optional requirements to be submitted should be discussed with County staff and based on the consultant's expertise, site conditions, and proposed development.

Required Information:

- Site Photographs.
- Site Plan for development including limits of construction and grading, buildings, structures, access, parking, outdoor storage, servicing, accessory structures, and any other pertinent information.
- Where trees may be impacted, a Tree Inventory and Protection Plan as per County guidelines.
- Where applicable, a signed letter of consent by adjacent owner for shared trees proposed for removal.
- Natural heritage and hydrologic features, linkages, VPZs and system proposed to be protected.
- Natural heritage and hydrologic features proposed to be removed.
- Natural hazard constraints (e.g. floodplain, erosion hazard) in which no development or site alteration is proposed.
- Enhancement, restoration, compensation, and mitigation measures such as silt fencing and planting a diversity of native plants.
- Other _____

Optional Information:

- Ecological Land Classification Mapping
- Significant Wildlife Habitat and Species at Risk Screening Table based on the Significant Wildlife Habitat Criteria Schedules by MNR and other applicable data sources.

Please provide justification on why the EIS should be waived:

STEP 2 – ANTICIPATED RISK & ELIGIBILITY FOR WAIVING

Please check off which description the project falls under:

Category A – Ineligible for Waiving:

The following projects are considered higher risk and generally ineligible for waiving:

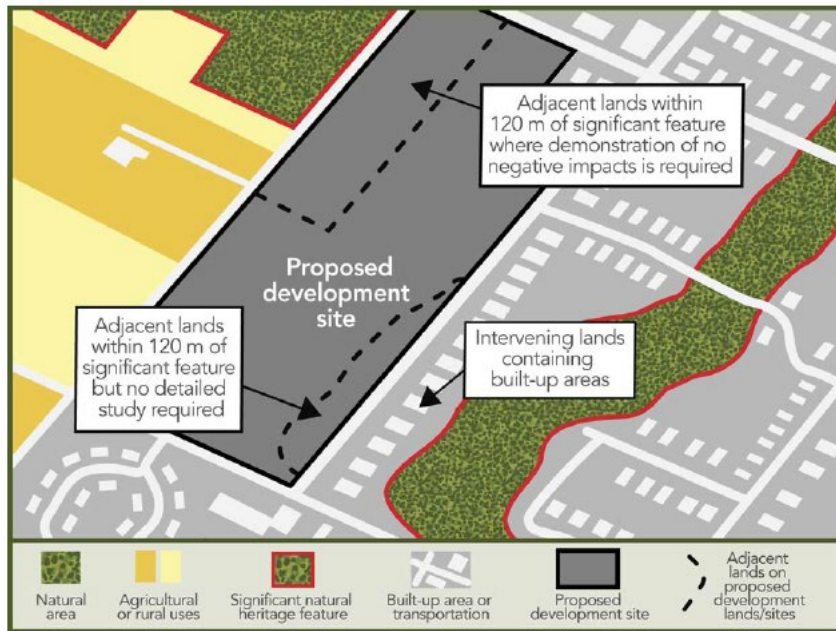
- Mineral aggregate operations, petroleum resource operations, wayside pits, and quarries.
- Large scale development such as a settlement boundary expansion, development in designated greenfield areas, and/or development proceeding by way of a secondary plan, block plan, plan of subdivision, plan of condominium or site plan including any associated zoning and official plan amendments.
- Large scale site alteration (e.g. outdoor storage, parking lot).
- Creation of a new lot or a change in land use, where there are no intervening lands (e.g. road, entirely paved area) between the proposed lot or use and known or potential natural areas.
- Any development, building, structure, access, parking, servicing, outdoor storage, site alteration or similar use proposed within a key natural heritage or key hydrologic feature.
- Any development, building, structure, access, parking, servicing, outdoor storage, site alteration or similar use proposed in or within 30 m of a wetland, 30 m of an intermittent or permanent watercourse, or 10m of a life science area of natural and scientific interest.

Category B – Eligible for Waiving Subject to Criteria:

Projects including or similar to the below that are considered lower risk may be eligible for exemption, subject to County approval including any proposed preservation, enhancement, mitigation, and implementation measures:

- Agriculture, agriculture-related and on-farm diversified uses** where a 30 m VPZ is maintained as self-sustaining vegetation between the key feature to be protected and any proposed buildings, structures, access, servicing, and site alteration. The VPZ does not need to be maintained as self-sustaining vegetation where the lands will be used for non-intensive agricultural uses as part of a farming operation (e.g. crop growing). New buildings and structures are not permitted in the VPZ.
- Non-intensive passive recreational uses** for low impact recreation, scientific and educational activities, nature preserves, and nature viewing provided that such uses are not located in key features. Examples of non-intensive uses include benches, trails, and wayfinding signs.
- Intervening lands** where the lands are already developed within the adjacent land width, between the natural area and the proposed development, justification and demonstration of no negative impacts may be addressed through this form and as a simple in a planning report. Examples of intervening lands may include an existing plan of subdivision or major highway such as Highway 403, where the existing development acts as a complete barrier to the nearby natural area. Depending on the nature of development, a sediment and

erosion control plan and stormwater management plan may be necessary, to ensure that the quality and quantity of water is protected.



Minor intrusions into adjacent lands where impacts are anticipated to be minimal, similar to intervening lands, justification and demonstration of no negative impacts may be addressed through this form and as a simple in a planning report. An example would be a proposed single lot severance within 100 m of a wetland; while within the 120 m adjacent lands distance and depending on site characteristics, an EIS would likely serve no useful purpose.

Minor expansions, alterations, replacements, conversions of, and non-habitable accessory structures and uses including any associated site alteration to lawfully existing buildings, structure, and uses, where it is demonstrated that:

- Impacts are anticipated to be minor and will be mitigated to the greatest extent feasible.
- The proposal will result in greater preservation of the natural environment than the existing use. An example would be relocating a building within a woodland to outside of a woodland and re-naturalizing the disturbed area within the woodland.
- There is no feasible alternative, in which case any proposal will be limited in scope and kept in close geographic proximity of existing buildings and structures. Proposals shall be directed away from features and VPZs to the maximum extent feasible – for example, by located an addition in a location that will have the least impacts.
- The proposal will not be in or within: 30 m of a wetland, permanent or intermittent watercourse, or seepages and springs; 10 m of a significant woodland or a life science ANSI; or 10 m for the top of slope of a major valley or 6 m for a minor valley.
- The proposal is not in the habitat of endangered and threatened species or fish habitat (unless required authorization is granted).

Small-scale structures ancillary to water-based recreational activities that which by their nature must be located along a permanent watercourse or waterbody including docks, boat houses, boat ramps, boat rentals and associated accessory structures, or similar uses if it is demonstrated that:

- Impacts are anticipated to be minor and will be mitigated to the greatest extent feasible.
- The proposal will result in greater preservation of the natural environment than the existing use.
- There is no feasible alternative, in which case any proposal will be limited in scope and kept in close geographic proximity of existing buildings and structures where feasible. Proposals shall be directed away from features and VPZs to the maximum extent feasible.

- The proposal will not be in or within: 30 m of a wetland, seepages and springs; or 10 m of a significant woodland or a life science ANSI.
- The proposal is not in the habitat of endangered and threatened species or fish habitat (unless required authorization is granted).
- At least 75% of the stream length within 15 m of the edge of the watercourse will be maintained as self-sustaining vegetation.

STEP 3 – NATURAL CHARACTERISTICS OF SUBJECT LANDS AND ADJACENT LANDS

This section is used to determine known and potential natural heritage and hydrologic features, areas, systems, VPZs and linkages that may be present on and/or adjacent to the proposed project.

Subject Lands	Adjacent Lands (within 120 m)
May 2023 Simply Grand Official Plan See Final Documents at www.engagebrant.ca/officialplan or www.brant.ca/OPMaps	
Land Use Designation (as per Map A and applicable settlement map, e.g. A-1): <input type="checkbox"/> Settlement Area <input type="checkbox"/> Built Boundary <input type="checkbox"/> Natural Heritage System <input type="checkbox"/> Community Node or Corridor <input type="checkbox"/> Neighbourhoods <input type="checkbox"/> Employment <input type="checkbox"/> Parks and Open Space <input type="checkbox"/> Agriculture or Countryside <input type="checkbox"/> Rural Lands <input type="checkbox"/> Village Developed Area or Community Lands	Land Use Designation (as per Map A and applicable settlement map, e.g. A-1): <input type="checkbox"/> Settlement Area <input type="checkbox"/> Built Boundary <input type="checkbox"/> Natural Heritage System <input type="checkbox"/> Community Node or Corridor <input type="checkbox"/> Neighbourhoods <input type="checkbox"/> Employment <input type="checkbox"/> Parks and Open Space <input type="checkbox"/> Agriculture or Countryside <input type="checkbox"/> Rural Lands <input type="checkbox"/> Village Developed Area or Community Lands
Natural Heritage System (as per Schedule B and applicable settlement map, e.g. B-1): <input type="checkbox"/> Aquatic or Critical Habitat Species at Risk <input type="checkbox"/> Fish Habitat – Warm Water <input type="checkbox"/> Fish Habitat – Cool or Cold Water <input type="checkbox"/> Fish Habitat - Unknown <input type="checkbox"/> Significant Wildlife Habitat White-tailed Deer Wintering Area <input type="checkbox"/> Significant Wildlife Habitat Waterfowl Winter Concentration Area <input type="checkbox"/> Significant Wildlife Habitat Great Blue Heron Nesting Colony <input type="checkbox"/> Wetlands – Evaluated Provincially Significant <input type="checkbox"/> Wetlands – Evaluated Non-Provincially Significant <input type="checkbox"/> Wetlands - Unevaluated <input type="checkbox"/> Life Science ANSI <input type="checkbox"/> Earth Science ANSI <input type="checkbox"/> Significant Woodlands <input type="checkbox"/> Enhancement Woodlands <input type="checkbox"/> Significant Valleylands <input type="checkbox"/> Watercourse <input type="checkbox"/> Waterbody	Natural Heritage System (as per Schedule B and applicable settlement map, e.g. B-1) <input type="checkbox"/> Aquatic or Critical Habitat Species at Risk <input type="checkbox"/> Fish Habitat – Warm Water <input type="checkbox"/> Fish Habitat – Cool or Cold Water <input type="checkbox"/> Fish Habitat - Unknown <input type="checkbox"/> Significant Wildlife Habitat White-tailed Deer Wintering Area <input type="checkbox"/> Significant Wildlife Habitat Waterfowl Winter Concentration Area <input type="checkbox"/> Significant Wildlife Habitat Great Blue Heron Nesting Colony <input type="checkbox"/> Wetlands – Evaluated Provincially Significant <input type="checkbox"/> Wetlands – Evaluated Non-Provincially Significant <input type="checkbox"/> Wetlands - Unevaluated <input type="checkbox"/> Life Science ANSI <input type="checkbox"/> Earth Science ANSI <input type="checkbox"/> Significant Woodlands <input type="checkbox"/> Enhancement Woodlands <input type="checkbox"/> Significant Valleylands <input type="checkbox"/> Watercourse <input type="checkbox"/> Waterbody
VPZs and Linkages as shown in Annex 4: <input type="checkbox"/> Enhancement Linkages <input type="checkbox"/> Minimum Protection Vegetation Protection Zone <input type="checkbox"/> Environmental Impact Study – Adjacent Lands Overlay	VPZs and Linkages as shown in Annex 4: <input type="checkbox"/> Enhancement Linkages <input type="checkbox"/> Minimum Protection Vegetation Protection Zone <input type="checkbox"/> Environmental Impact Study – Adjacent Lands Overlay

Zoning https://www.brant.ca/en/planning-and-Development/zoning.aspx	
What is the Existing Zoning: <input type="checkbox"/> Natural Heritage (NH) <input type="checkbox"/> Natural Heritage Vegetation Protection Zone (NH1) <input type="checkbox"/> Watercourse Setback <input type="checkbox"/> Other	What is the Existing Zoning: <input type="checkbox"/> Natural Heritage (NH) <input type="checkbox"/> Natural Heritage Vegetation Protection Zone (NH1) <input type="checkbox"/> Watercourse Setback <input type="checkbox"/> Other
If in the NH, NH1, or watercourse setback is the proposed use permitted as per Section 14?	
Conservation Authority Mapping: https://www.grandriver.ca/en/Planning-Development/Map-Your-Property.aspx# https://www.lprca.on.ca/planning-permits/property-inquiry/	
Do lands contain any of the following regulated by a Conservation Authority: <input type="checkbox"/> Wetland <input type="checkbox"/> Watercourse or Waterbody <input type="checkbox"/> Floodplain <input type="checkbox"/> Erosion Hazards	Do lands contain any of the following regulated by a Conservation Authority: <input type="checkbox"/> Wetland <input type="checkbox"/> Watercourse or Waterbody <input type="checkbox"/> Floodplain <input type="checkbox"/> Erosion Hazards
Potential Natural Heritage Features, Areas, and Systems (include any date of site visits or inventories) While some known natural areas are identified by official sources, the presence of others may only be determined after a site-specific evaluation. Potential natural areas features shall be identified using sources such as aerial imagery, site visits and surveys, and a review of background information (e.g. Natural Heritage Information Centre).	
Trees and Vegetation: Where trees could be impacted a Tree Inventory and preservation plan will be required in accordance with County's Tree Protection Guide. Where proposed for removal, inventories shall be conducted during the growing season. Provide a summary of vegetation including dominant species of trees, shrubs, groundcovers. Note any provincially rare (S1 to S3 rank) species or communities. Include date of inventory.	Trees and Vegetation: For areas within 10 m of the property or which could be impacted by the proposal, provide a summary of vegetation including dominant species of trees, shrubs, groundcovers. Note any provincially rare (S1 to S3 rank) species or communities.
Wildlife Habitat Observations: Describe any direct wildlife habitat observations (e.g. tracks, seen, heard, reported previously), wildlife trees (e.g. trees with stick nests or large trees with cavities), other features (e.g. rock faces, large logs) that could provide wildlife habitat.	Wildlife Habitat Observations: For adjacent areas that could be impacted by the proposal, describe any direct wildlife habitat observations (e.g. tracks, seen, heard, reported previously), wildlife trees (e.g. trees with stick nests or large trees with cavities), other features (e.g. rock faces, large logs) that could provide wildlife habitat.
Other Features	Other Features

<p>Does the property contain any of the following features not previously identified based on a review of aerial imagery, site observations, ELC mapping, and/or background information:</p> <ul style="list-style-type: none"> <input type="checkbox"/>Wetlands <input type="checkbox"/>Watercourses <input type="checkbox"/>Seeps and springs <input type="checkbox"/>Valleylands <input type="checkbox"/>Tallgrass Prairies <input type="checkbox"/>Species of value to Indigenous communities <input type="checkbox"/>Headwater drainage features <input type="checkbox"/>Opportunities to create a natural heritage system linkage to features within or adjacent to the subject lands <p>Notes/ Comments:</p>	<p>For adjacent lands that could be impacted by the proposal, do they contain any of the following features not previously identified based on a review of aerial imagery, site observations, ELC mapping, and/or background information:</p> <ul style="list-style-type: none"> <input type="checkbox"/>Wetlands <input type="checkbox"/>Watercourses <input type="checkbox"/>Seeps and springs <input type="checkbox"/>Valleylands <input type="checkbox"/>Tallgrass Prairies <input type="checkbox"/>Species of value to Indigenous communities <input type="checkbox"/>Headwater drainage features <input type="checkbox"/>Opportunities to create a natural heritage system linkage to features within or adjacent to the subject lands <p>Notes/ Comments:</p>
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STEP 4 - PROPOSED AVOIDANCE, ENHANCEMENT AND MITIGATION MEASURES

Detailed plans must be included including proposed building/structures/servicing/parking/storage etc., limits of grading and construction, features to be preserved or removed, VPZ, linkages, tree protection or silt control fencing, planting plan and any other mitigation measures.

In addition to using the above information to determine if an EIS may be waived, proposed avoidance, enhancement and mitigation measures will be taken into consideration. Examples include preserving natural heritage features; implementing VPZs and linkages in which there is to be no development or site alteration; planting a diversity of native wildflowers/grasses, shrubs, and trees in the VPZ; and installing silt fencing.

As part of proposing avoidance, enhancement, and mitigation measures there must be a mechanism to ensure they are implemented and remain in place. For example, where natural heritage features, VPZs, and linkages are proposed to be preserved they must be zoned appropriately such as Natural Heritage (NH). To ensure plantings occur and are successful (not taken over by invasive species), plantings may need to be planted prior to development, monitored for a at least two years, and/or securities posted.

Waiving may be considered where it is determined that no useful purpose would be served by an EIS after taking into consideration factors such as the proposed development, where it is demonstrated there is a low risk of impacts to natural areas, any impacts are anticipated to be minor in duration, and a net gain in features and functions will be achieved.

Subject Matter	Existing and Proposed Measures (all maps must be legible with a scale, corresponding legend, date, and address)
<p>Future Ownership of Natural Areas To ensure the permanent protection of natural areas and to provide a comprehensive open space system including active transportation connections, environmental lands are often dedicated to the County, particularly within settlement areas.</p>	<p>If the lands area in a settlement area, is the applicant interested and/or willing to dedicate lands proposed for preservation to the County?</p>
<p>Zoning: Zoning is a planning tool used to help ensure natural areas remain protected from building, structures, and other uses. For example, the County Zoning By-Law zones natural features as Natural Heritage (NH) and VPZs and other restoration areas as Natural Heritage Vegetation Protection Zone (NH1). The County may update boundaries to the NH and NH1 without an amendment where new features are identified, or existing features are refined.</p>	<p>Describe the Existing Zoning of Natural Heritage Features & VPZs.</p> <p>Describe the Proposed Zoning of Natural Heritage Features & VPZs. Where applicable, provide proposed Zoning text and/or schedule.</p>
<p>Subdivision Where a development proposal includes a subdivision all natural areas, VPZs and linkages to be preserved should be identified as Natural Heritage System or Open Space Blocks.</p>	<p>If a subdivision is proposed, are all natural heritage areas proposed for preservation within Natural Heritage System or similar Blocks?</p>
<p>History of Natural Characteristics: Local knowledge and a review of aerial photography may be used to compare</p>	<p>Describe the history of removal of natural heritage features on the property in conjunction with all previous violations,</p>

<p>current to historical site conditions regarding the natural environment. Where unauthorized removal of features has occurred, the applicant will be required to restore the site to its original state.</p>	<p>permits, exemptions, planning approvals, regulations, and other removals in natural heritage features and areas.</p> <p>Where applicable, describe and illustrate proposed restoration for any natural areas previously removed.</p>
<p>Existing and Proposed Development: To assess the proposed project, it is important to have a clear understanding of existing and proposed buildings, structures, servicing, access, parking, outdoor storage, grading, drainage, site alteration, and demolition.</p>	<p>Describe and provide mapping of the proposed development including a site plan for development, limits of grading and construction, the nearest road and lot lines. At least one map must be overlaid with aerial imagery.</p>
<p>Preservation of Key Natural Heritage and Key Hydrologic Areas, and Directing Development Away from Natural Hazards As per the Hierarchy of Conservation, avoidance of natural areas is the preferred approach to conservation. One of the best tools to achieve preservation is designing projects around natural areas and/or choosing development sites with little to no natural areas.</p>	<p>Describe and provide a drawing illustrating natural heritage and hydrologic features (e.g. wetlands, woodlands, watercourses), and natural hazards regulated by Conservation Authorities (e.g. erosion, floodplain). Clearly indicate features proposed to be retained and those proposed for removal.</p>
<p>Tree Inventory and Preservation Plan Individual trees, groupings of trees and hedgerows where not determined to be significant may provide cultural, social, and recreational value to a community as well as mitigating the impacts of climate change. One of the best tools to achieve preservation is designing projects around natural areas and/or choosing development sites with little to no trees.</p>	<p>For trees that could be impacted, describe and provide a tree inventory and preservation plan must be provided as per the County's Tree Protection Guide. https://www.brant.ca/en/planning-and-Development/development-toolbox.aspx#Tree-Protection</p>
<p>Environmental Offsetting With preservation as a priority and in consideration of the well-known effects of vegetation on mitigating climate change, removal of natural areas will generally not be supported. Minor removal of features may be considered in limited circumstances as per the EIS Guidelines and if applicable and enforce, A Simply Grand Official Plan 2023. Compensation may not be used to justify a conclusion of no negative impacts.</p>	<p>Where trees, vegetation and other habitats are proposed for removal, describe, and provide a drawing to demonstrate how a net environmental gain will be achieved. For trees, compensation should be based on size and quality of trees removed with larger trees resulting in greater compensation, with a minimum 2:1 ratio. Applicants are advised that the County is in the process of developing a Tree Technical Manual and Community Forest Strategy, which will provide more detailed direction on compensation related to individual trees and woodlands. Outline whether replanting is proposed on site, as cash-in-lieu or a combination of both. For plantings on site, a diversity of native seed mixes, shrubs and plants shall be used. Trees shall have a minimum height of 1 metre and a</p>

	circumference of 3 inches unless otherwise approved by the County.
<p>Location and Width of VPZs and Linkages to be Maintained as Self-Sustaining Vegetation</p> <p>VPZs are an essential tool to maintaining and enhancing the health of ecosystems as they naturally protect water quality of rivers by intercepting harmful pollutants, mitigating erosion, providing food and shelter for wildlife, contributing to the beauty and economic value of the County, mitigating impacts of climate change, and providing opportunities for recreational enjoyment such as through sustainable trail development. Linkages are important in providing a comprehensive connected natural heritage system as part of supporting biodiversity, as opposed to preserving features in isolation of one another.</p>	<p>Describe and provide a drawing illustrating proposed VPZs adjacent to each natural feature and linkages between features.</p>
<p>Enhancing VPZs with a diversity of native species.</p> <p>Planting a diversity of native wildflowers/grasses, shrubs and plants helps to mitigate impacts, prevent intrusion into natural areas, and enhance wildlife habitat.</p>	<p>Describe the existing vegetation adjacent to natural features in the VPZ. Describe and provide a planting plan illustrating proposed plantings in the VPZ and linkages. Include on the drawing location and details of species, size, and amount to be planted, planting detail and notes on timing of planting, monitoring, inspections and replacement.</p>
<p>Invasive Species</p> <p>Where new vegetation is planted it is important to control invasive species to help ensure native species succeed. Monitoring is key to achieving success.</p>	<p>Where applicable, describe existing invasive species and how existing and potentially new invasive species will be managed.</p>
<p>Additional Mitigation Measures</p> <p>Mitigation measures are often necessary to reduce short-term and long-term impacts to the natural environment.</p>	<p>Discuss and illustrate mitigation measures to be implemented prior to, during and after construction, such as:</p> <ul style="list-style-type: none"> - Sediment and erosion control measures with notes and detail added to plan. Measures shall be in keeping with best practices as provided for in the Ontario Provincial Standard Specification for Temporary Erosion and Sediment Control Measures OPSS.MUNI 805; and as detailed on drawing OPD 219.130; and the Erosion and Sediment Control Guide for Urban Construction prepared by Sustainable Technologies Evaluation Program. - Permanent fencing adjacent to natural areas. - Lighting directed away from natural areas.

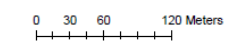
	<ul style="list-style-type: none"> - Bird friendly building, landscaping, and lighting. - Grading limits, stockpiles, staging of construction materials and equipment. - Spills management plan. - Timing windows and/or any other measures to ensure compliance with the Migratory Birds Act, active bats, fish habitat and any other applicable matters. - Monitoring measures such as related construction activities, water quality, tree protection, wildlife exclusionary fencing. - Having specialists on site to monitor and relocate wildlife.
Provincial or Federal Authorization	Describe any authorization required from the Conservation Authority, Province, or Federal Government (e.g. Endangered Species Act, Fisheries Act). If required provide written authorization.
Implementation	How will the above-noted measures be implemented and how will it be ensured they remain in place:
Other	Please include any other information that may be relevant:

Legend

- ⊗ tree to be removed
- ⊙ tree to be retained
- * tree to be planted
- - - sediment and erosion control fencing
- tree protection fencing
- ▨ woodland
- ▩ wetland
- ▧ erosion hazard - steep slopes
- ▨ flooding hazard
- property boundary

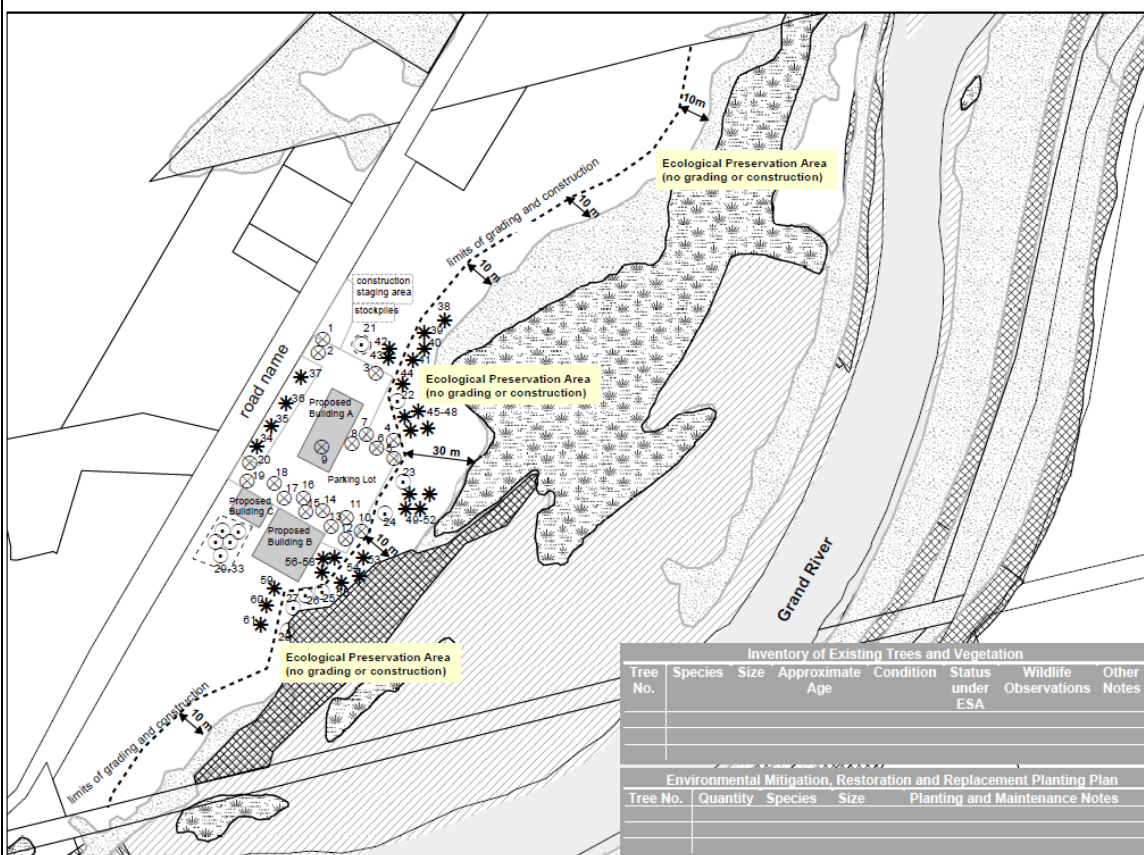
Notes (see County Tree Protection Guide):
 Add notes on items such as:
 - description of how good forestry practices will be followed
 - how vegetation to be removed will be marked
 - how vegetation to be retained will be identified on site (e.g. ecological preservation signage)
 - timing of removals and direction to ensure compliance with Migratory Birds Convention Act
 - statement regarding compliance with Endangered Species Act
 - limits of construction and grading, storage of equipment, location of stockpiles, spill and emergency management plan
 - future tree management or monitoring
 - ecological preservation area
 - Environmental Impact Study recommendations
Detail: (see County Tree Protection Guide)
 Add detail and timing on items such as:
 - sediment and erosion control fencing
 - tree protection fencing and tree protection zones
 - ecological preservation signage
 - planting, maintenance, inspections

Include Key Map



Project Name
 Owner and Applicant
 Consulting Firm, Signature, Stamp, Contact Details

Original Date:
 Revision Dates:



Inventory of Existing Trees and Vegetation						
Tree No.	Species	Size	Approximate Age	Condition	Status under ESA	Wildlife Observations Other Notes

Environmental Mitigation, Restoration and Replacement Planting Plan				
Tree No.	Quantity	Species	Size	Planting and Maintenance Notes

Sample Environmental Implementation Plan (must follow County's Tree Protection Guide)

This plan is provided for illustrative purposes only to illustrate information that may be required on an Environmental Implementation Plan. Information such as setbacks, mitigation measures, and enhancement and replacement trees will vary based on site conditions. Additional detail is in the County's Tree Protection Guide.

County of Brant
 Policy Planning Unit
 (2022)