

BY-LAW NUMBER 77-24

-of-

THE CORPORATION OF THE COUNTY OF BRANT

To adopt amendments to the Official Plan of the County of Brant
Stremma (St. George) GP Inc., 269 German School Road

WHEREAS authority is given to the Ontario Land Tribunal under the Planning Act, R.S.O. 1990, c.P.13, as amended, to pass this By-Law;

NOW THEREFORE the Ontario Land Tribunal, by Order, enacts the following:

1. THAT the text and figures attached hereto as Schedule 'A' forming part of this By-Law is hereby approved as Amendment No. 17 to the County of Brant Official Plan (*CBOP, 2012*).
2. THAT the text and figures attached hereto as Schedule 'B' forming part of this By-Law is hereby approved as Amendment No. 2 to the County of Brant Official Plan (*A Simply Grand Plan, 2023*), adopted by Council under the authority of By-Law 61-23, and in accordance with Policy 1.1.5.3 (Transition Policies) of *A Simply Grand Plan, 2023* this amendment will be consolidated and in force upon approval of *A Simply Grand Plan, 2023* as it may be modified by the Ministry of Municipal Affairs and Housing.
3. THAT except as may have been amended by preceding regulations, the lands illustrated in Figure 1 of Schedule A attached to and forming part of this By-Law shall continue to be subject to all other applicable policies of the County of Brant Official Plan (*CBOP, 2012*), as may be further amended.
4. THAT except as may have been amended by preceding regulations, the lands illustrated in Figure 1 of Schedule 'B' attached to and forming part of this By-law shall be subject to all other applicable policies of the County of Brant Official Plan (*A Simply Grand Plan, 2023*) as consolidated and in force upon approval as it may be modified by the Ministry of Municipal Affairs and Housing.
5. THAT the Ontario Land Tribunal authorizes the County of Brant, upon approval of this By-Law, to apply a By-Law Number to this By-law for administrative purposes.
6. THAT this By-Law shall come into force on the date of the Decision and Order issued by the Ontario Land Tribunal on July 17, 2024, subject to compliance with the provisions of the *Planning Act*, R.S.O. 1990, as amended from time to time.

As part of Case Number OLT-22-004258, this By-law has been passed as part of the Decision and Order issued by the Ontario Land Tribunal on July 17, 2024.

Amendment No. 17
To the County of Brant Official Plan
(CBOP, 2012)

Part 'A' – The Preamble

This document, when approved in accordance with the *Planning Act*, shall be known as Amendment No. 17 to the County of Brant Official Plan (CBOP, 2012).

Purpose:

The purpose of this amendment is to update the land use designations and site-specific policy area overlays on Schedule A – Land Use Plan (Maps) and corresponding text to reflect the changes necessary to facilitate an application for development. As a result of the Environmental Impact Study prepared for this development, the natural heritage system features of Schedule C – Natural Heritage System Features and Development Constraints will be updated without the need for an amendment as per Policy 2.3.2.1(g) of the County of Brant Official Plan (CBOP, 2012).

Location:

This amendment applies to the lands at 269 German School Road in the settlement area of St. George located in the former Township of South Dumfries, being all of PIN 320360048 and shown on Figure 1 of this document.

Basis:

In 2022, an application was made for an Official Plan Amendment (OPA1-22), Zoning By-Law Amendment (ZBA14-22), and a Plan of Subdivision (PS2-22) to facilitate the development of the lands. A Decision/Order was issued on these applications as part of Ontario Land Tribunal Case Number OLT-22-004258 on July 17, 2024 and this amendment is included as part of the Decision/Order.



Figure 1 - Subject Lands
Official Plan Amendment No. 17
County of Brant Official Plan (2012)

Schedule 'A' of By-Law 77-24

Part 'B' – The Amendment

Introduction:

All of this part of the document entitled "Part 'B' – The Amendment", consisting of the following text and figures, constitutes Amendment No. 17 to the County of Brant Official Plan (CBOP, 2012). The following modifications are hereby made to the County of Brant Official Plan (CBOP, 2012):

Text Changes:

1. The text of Section 4.2.26 (SSPA 26) is modified to add the following:

e) Notwithstanding Policy 3.16.2, new utilities, or facilities such as public and private roads, sewer, water lines, and pumping stations may be considered within the Natural Heritage System designation, subject to demonstration through an environmental impact study to the satisfaction of the County and any applicable approval authority that:

i) there is no reasonable alternative, and impacts in key natural heritage and hydrologic features is minimized and, in the vegetation protection zone, is directed away from features to the maximum extent possible; and

ii) the impact on features and functions is minimized and mitigated to the maximum extent possible.

f) Redevelopment of the area identified as SSPA 26-A shall be in accordance with the policies of SSPA 26, the new land use designation policies, and subject to a draft plan of subdivision application, including any appropriate conditions of approval.

Schedule Changes:

2. The land use designations illustrated in Schedule A – Land Use Maps are modified in accordance with the directions of Figure 2A of this document.
3. The site-specific policy area overlays illustrated in the Schedule A – Land Use Maps are modified in accordance with the directions of Figure 2B of this document.

Figure 2A – Illustrating Modifications to Schedule A (Land Use Designations)

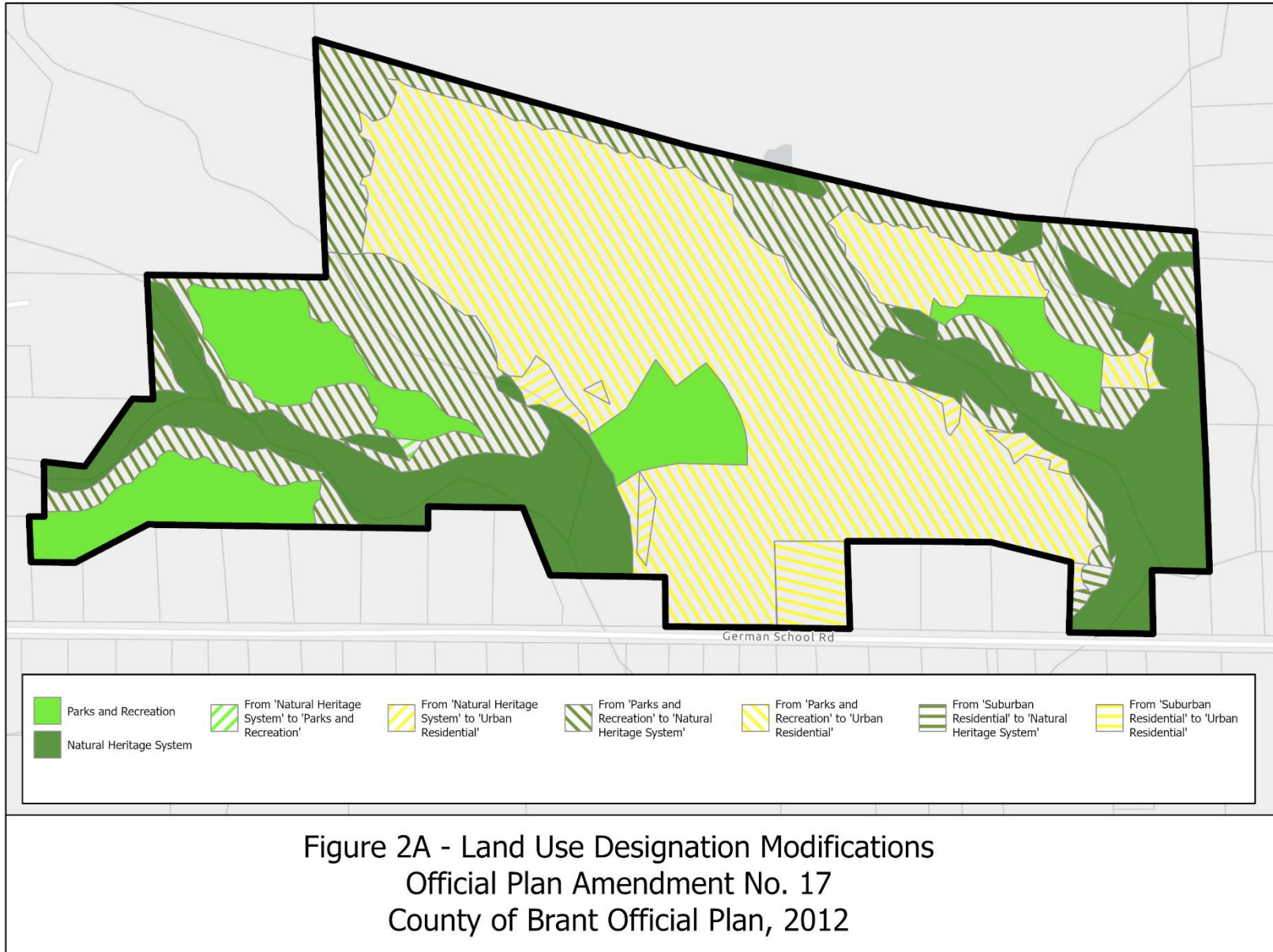


Figure 2B - Illustrating Modifications to Schedule A (Site-Specific Policy Area Overlays)

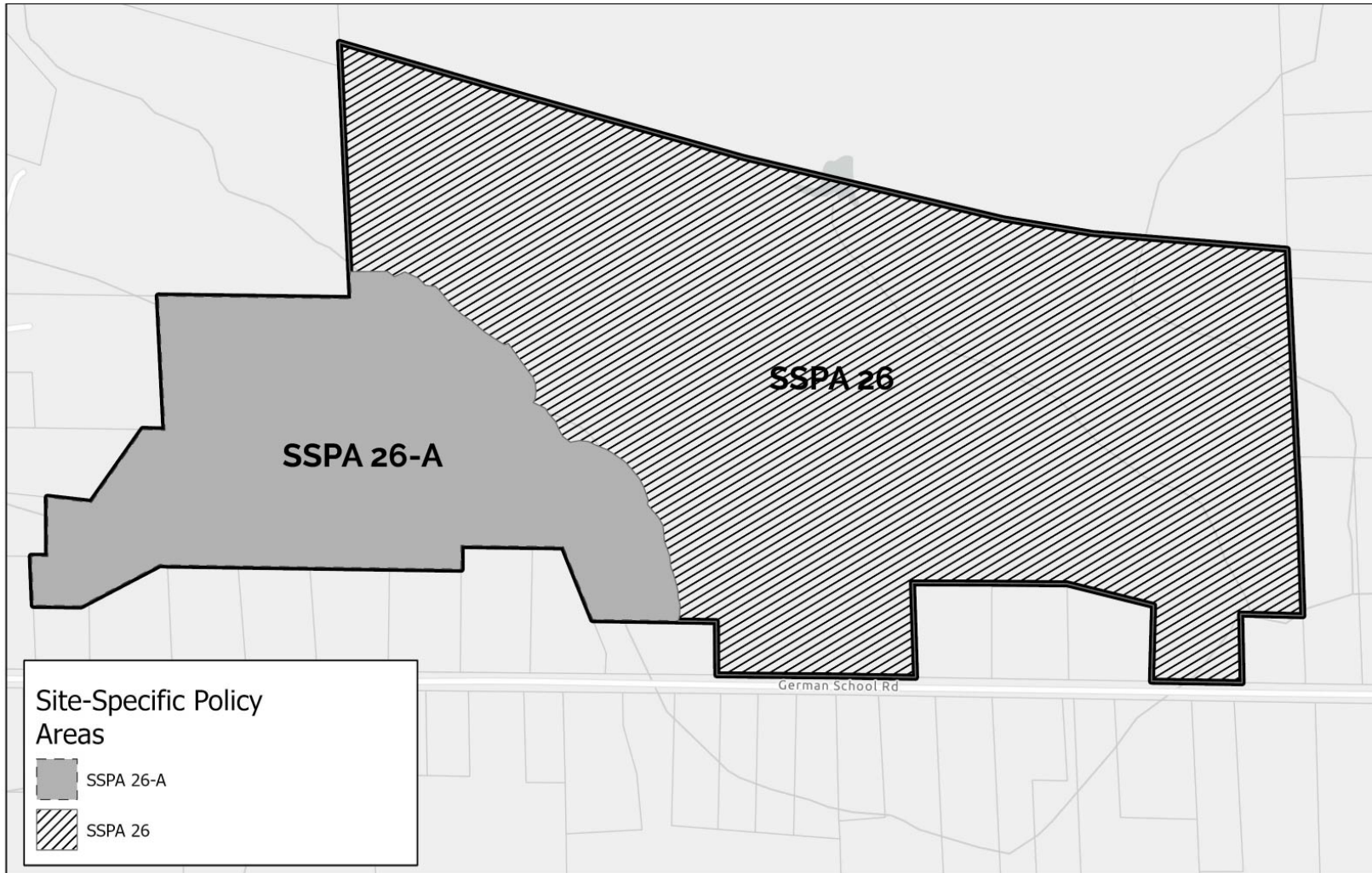


Figure 2B - Site Specific Policy Area Modification
Official Plan Amendment No. 17
County of Brant Official Plan, 2012

Schedule 'A' of By-Law 77-24

Part 'C' – Implementation

Implementation and interpretation of this amendment shall be in accordance with the policies of the County of Brant Official Plan (CBOP, 2012) and additional interpretative guidance may also be found by reading the applicable Ontario Land Tribunal decision and County of Brant Planning Reports.

Amendment No. 2
To the County of Brant Official Plan
(A Simply Grand Plan, 2023)

Part 'A' – The Preamble

This document, when approved in accordance with the *Planning Act*, shall be known as Amendment No. 2 to the County of Brant Official Plan (A Simply Grand Plan, 2023).

Purpose:

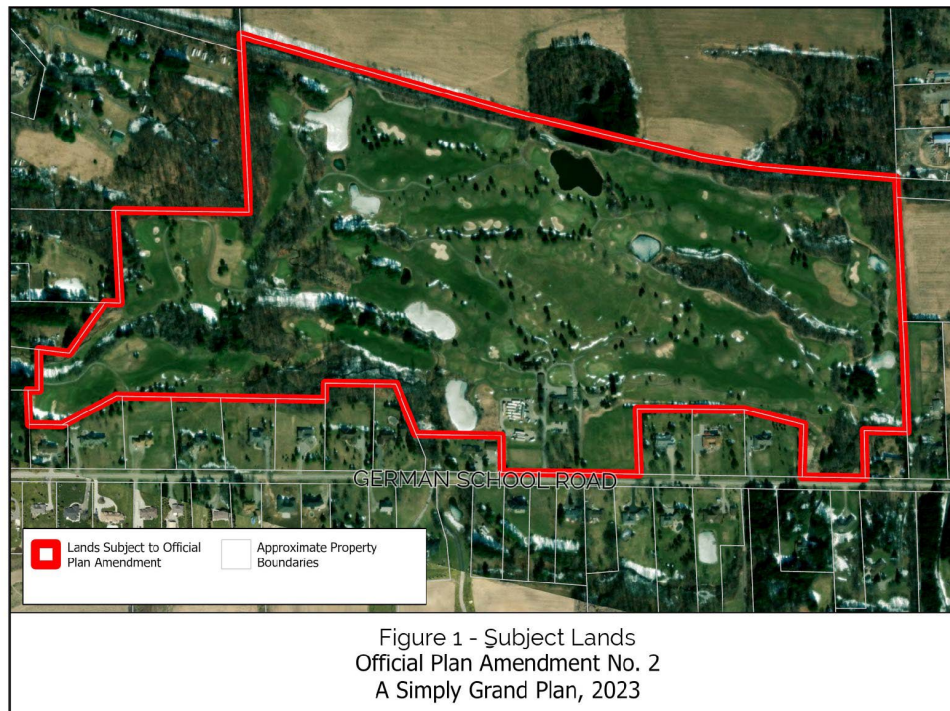
The purpose of this amendment is to update the land use designations and site-specific policy areas of the Schedule A series mapping and corresponding text to reflect the changes necessary to facilitate an application for development. As a result of the Environmental Impact Study prepared for this development, the natural heritage system features of the Schedule B series mapping will be updated without the need for an amendment as per Part 5 – Section 2.10.21 of A Simply Grand Plan, 2023.

Location:

This amendment applies to the lands at 269 German School Road in the settlement area of St. George located in the former Township of South Dumfries, being all of PIN 320360048 and shown on Figure 1 of this document.

Basis:

In 2022, an application was made for an Official Plan Amendment (OPA1-22), Zoning By-Law Amendment (ZBA14-22), and a Plan of Subdivision (PS2-22) to facilitate the development of the lands. A Decision/Order was issued on these applications as part of Ontario Land Tribunal Case Number OLT-22-004258 on July 17, 2024 and this amendment is included as part of the Decision/Order.



Part 'B' – The Amendment

Introduction:

All of this part of the document entitled “Part 'B' – The Amendment”, consisting of the following text and figures, constitutes Amendment No. 2 to the County of Brant Official Plan (*A Simply Grand Plan, 2023*). Upon approval of *A Simply Grand Plan, 2023* by the Ministry of Municipal Affairs and Housing, the following modifications are hereby made to the County of Brant Official Plan (*A Simply Grand Plan, 2023*).

Text Changes:

1. The text of Part 3 – Section 4.2 (Site Specific Policy Area – STG-1: The Oaks of St. George) is modified to add the following text and renumber the subsequent sections:

4.2.5 Notwithstanding the policies of Part 5 – Section 2.10, new utilities, or facilities such as public and private roads, sewer, water lines, and pumping stations may be considered within the Natural Heritage System designation, subject to demonstration through an environmental impact study to the satisfaction of the County and any applicable approval authority that:

i) there is no reasonable alternative, and impacts in key natural heritage and hydrologic features is minimized and, in the vegetation protection zone, is directed away from features to the maximum extent possible; and

ii) the impact on features and functions is minimized and mitigated to the maximum extent possible.

4.2.6 Redevelopment of the area identified as STG-1A shall be in accordance with the policies of STG-1, new land use designation policies, and subject to a draft plan of subdivision application, including any appropriate conditions of approval.

Schedule Changes:

2. The land use designations illustrated in the Schedule A series “Land Use Plan and Designations” are modified in accordance with the directions of Figure 2A of this document.
3. The site-specific policy area overlays illustrated in the Schedule A series “Land Use Plan and Designations” are modified in accordance with the directions of Figure 2B of this document.

Figure 2A –Illustrating Modifications to Schedule A (Land Use Designations)

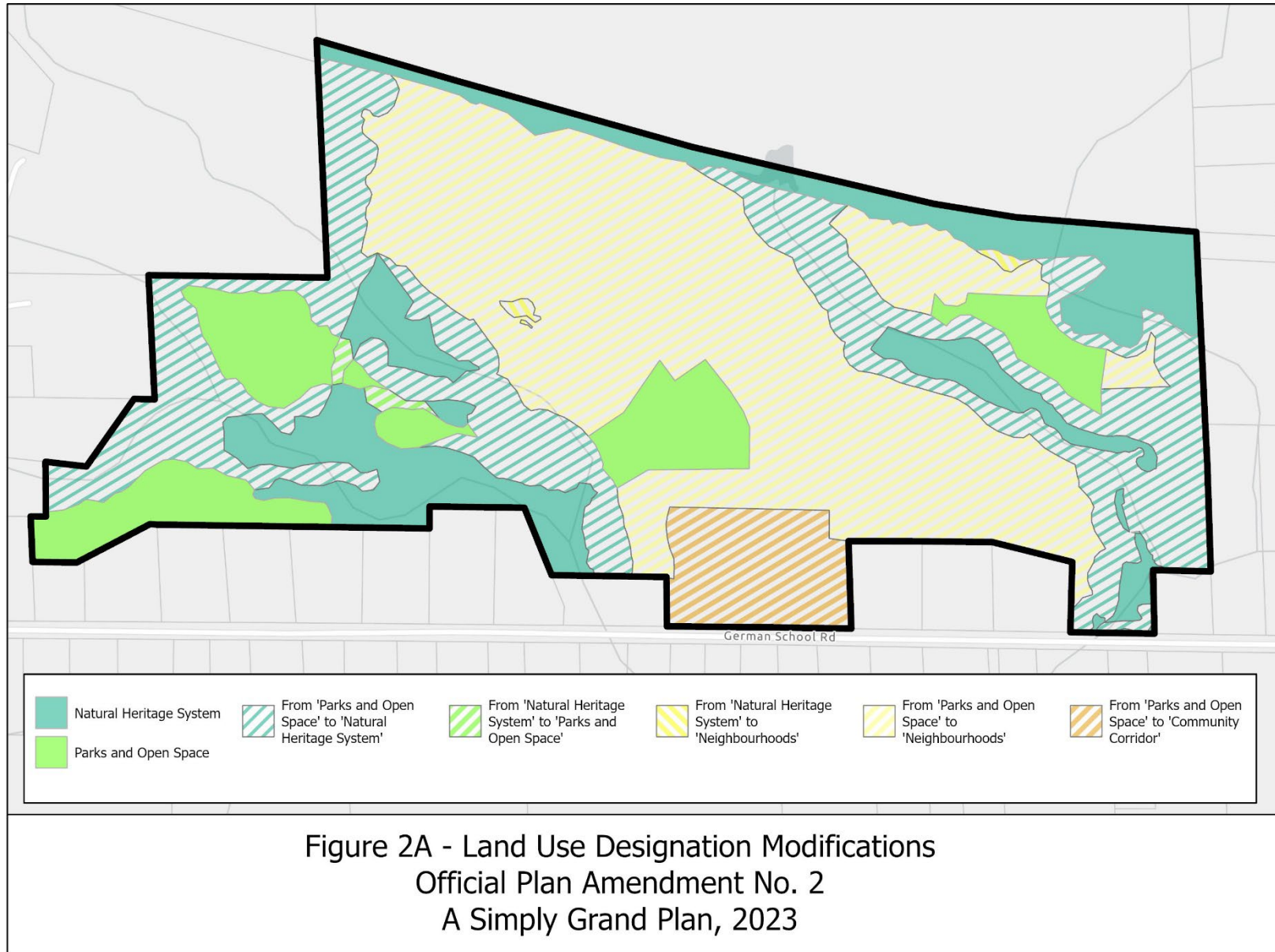


Figure 2B –Illustrating Modifications to Schedule A (Site-Specific Policy Area Overlays)

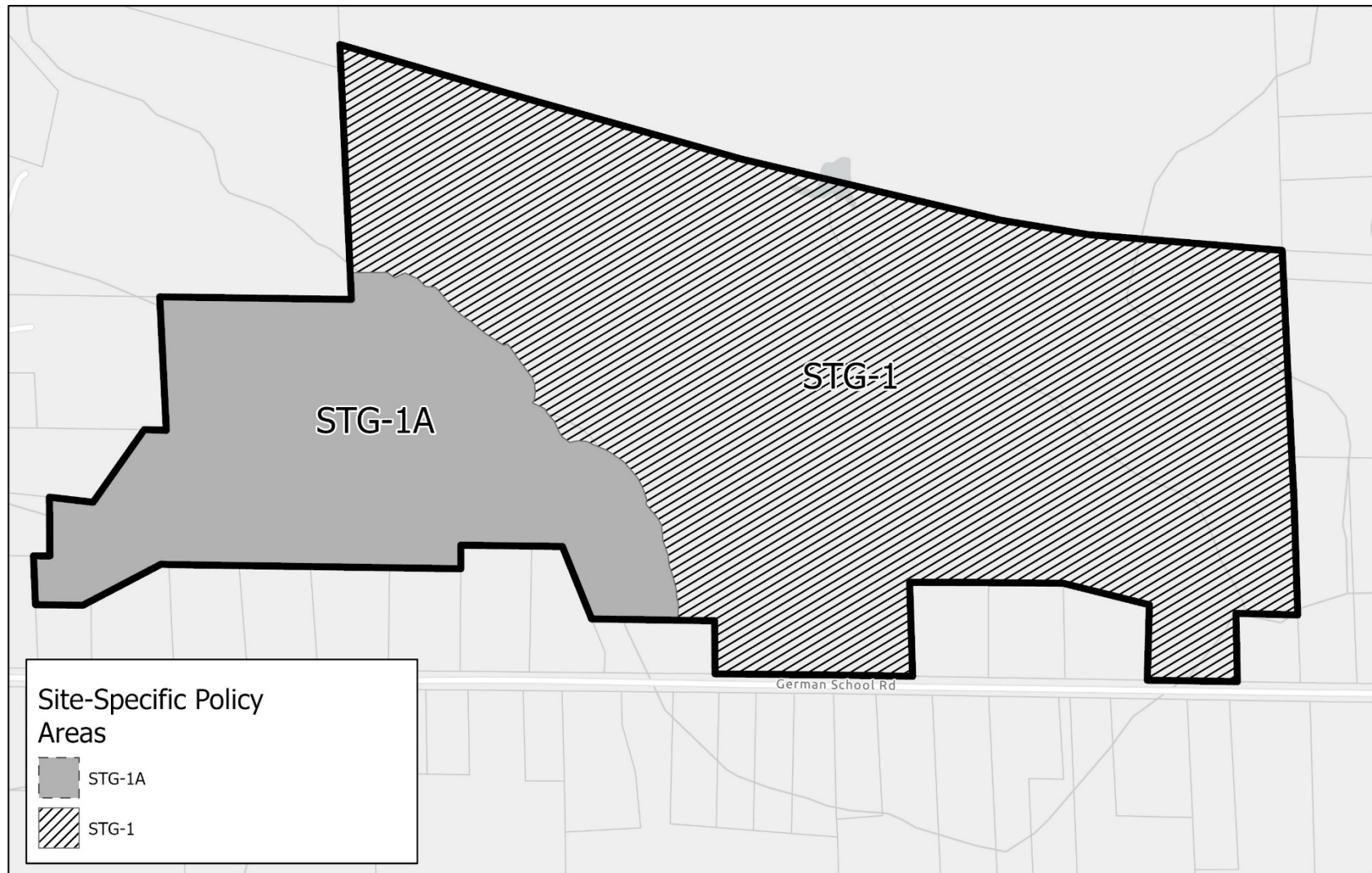


Figure 2B - Site Specific Policy Area Modification
Official Plan Amendment No. 2
A Simply Grand Plan, 2023

Schedule 'B' of By-Law 77-24

Part 'C' – Implementation

Implementation and interpretation of this amendment shall be in accordance with the policies of the County of Brant Official Plan (*A Simply Grand Plan, 2023*) and additional interpretative guidance may also be found by reading the applicable Ontario Land Tribunal decision and County of Brant Planning Reports.