



Notice of Complete Application and Council Meeting

Date: 2025-12-02

Time: 6:00 pm

Location: Paris Council Chambers- 7 Broadway Street West or Meeting available on the County of Brant You Tube

Application Number: ZBA18-25-LG – 152 Pleasant Ridge Road

Details of Application:

A Zoning By-Law Amendment Application from J.H. Cohoon Engineering, Agent, on behalf of Deanne and Richard Johnston, Owners of TRACT KERR PART BLOCK 4 REFERENCE PLAN 2R3022 PART 1, County of Brant, in the geographic former township of Brantford, located at 152 Pleasant Ridge Road is proposing to bring the existing home industry into conformity with the County of Brant Official Plan (2023) and Zoning By-Law 61-16 by rezoning the subject lands from Rural Residential (RR) to Natural Heritage (NH) and Rural Residential, Special Exception (RR-XX) in order to:

- Permit a home industry where goods and services are offered off-site;
- Permit the home industry use on 25% of the premises as a base of operations for the employees associated with the home industry;
- An additional parking space shall be required for each employee in addition to those required by By-Law for other permitted uses on the lot;
- Majority of storage to be located indoors, any outdoor storage area shall only be permitted within the rear yard, and a visible barrier is required to screen the use from the street and adjacent lots;
- Home industry use is only permitted in the area highlighted on Schedule B attached hereto;
- Recognize the existing street setback to the dwelling of 7.3 meters, whereas 20.0 metres is required.
- Recognize the existing interior side yard setback of 2.2 meters, whereas 5.0 metres is required
- Permit the existing lot coverage for accessory buildings of 360 square meters, whereas a maximum 140 square meters is required.

The County of Brant has received a “Complete Application” for the proposal described above in accordance with Section 34 (10.1) and (10.2) of the Planning Act. A Statutory Public Meeting, as required by the Planning Act, has been held by the County of Brant Planning Development Committee to provide information and receive public comments on the application. At this time, there is a Zoning Amendment application filed ZBA18-25-LG, Pursuant to Section 34(12) of the Planning Act, pertaining to the subject lands.

Who can attend?

Any person may attend the Council Meeting. Registration is **recommended** to make a verbal presentation. **Please contact clerks@brant.ca to register as a public delegate prior to the meeting.** Written submissions must be made to the Planning Division one week prior to the meeting at the address below.

What will happen at the meeting?

The County of Brant Council will review and provide a decision on the proposal, supporting documents and listen to all delegation presentations.

If you wish to be notified of the passing or the refusal of a request to enact a zoning By-law, you must sign the register provided at the Public Information Meeting or make a written request to the County Clerk at clerks@brant.ca.

How can I appeal a decision?

Third parties (anyone who is not a specified person or public body in accordance with Section 1(1)(f) of the Planning Act) do not have the right to appeal a decision of application to the Ontario Land Tribunal. Only individuals, corporations, and public bodies may appeal a decision of the County of Brant to the Ontario Land Tribunal. A Notice of Appeal may not be filed by an unincorporated association or group. However, a Notice of Appeal may be filed in the name of an individual who is a member of the association or the group on its behalf.

Any specified person or public body may file a notice of appeal with the Clerk or Secretary Treasurer via the Ontario Land Tribunal e-file service (first-time users will need to register for a My Ontario Account) at <https://olt.gov.on.ca/e-file-service/> by selecting Brant (County) as the Approval Authority or by mail 66 Grand River St. N., Paris, Ontario N3L 2M2. The filing of an appeal after 4:00 p.m., in person or electronically, will be deemed to have been received the next business day. The following appeal fees are required:

- A fee of \$1,100 to the OLT can be paid online through e-file or by certified cheque/money order to the Minister of Finance, Province of Ontario. If you wish to appeal to the Ontario Land Tribunal (OLT) or request a fee reduction for an appeal, forms are available from the OLT website at www.olt.gov.on.ca.
- In addition, a fee of \$280.00 payable to the "County of Brant" as per the County of Brant's Development Services fees online <https://webforms.brant.ca/finance/planning-applications-payment> or by mail to 66 Grand River St. N., Paris, Ontario N3L 2M2.
- If the e-file portal is down, you can submit your appeal to clerks@brant.ca.

No specified person or public body shall be added as a party to the hearing of the appeal unless, before a decision was made or by-law was passed, the specified person or public body made oral submissions at a public meeting, written submissions to the council, or in the opinion of the Ontario Land Tribunal, there is reasonable grounds to add the specified person or public body as a party.

If no Notice of Appeal has been filed with the Clerk of the County of Brant within the time stipulated above; the decision or by-law thereupon comes into effect and does not require the approval of the Ontario Land Tribunal.

If a Notice of Appeal has been filed with the Clerk of the County of Brant within the time stipulated above, the decision or by-law shall be submitted to the Ontario Land Tribunal and will not come into effect unless approved by the Ontario Land Tribunal.

As per Section 34(19.0.1) of the Planning Act, if the appellant intends to argue that the decision or By-law is inconsistent with a policy statement issued under subsection 3(1), fails to conform with or conflicts with a provincial plan or fails to conform with an applicable official plan, the Notice of Appeal must also explain how the decision or By-law is inconsistent with, fails to conform with or conflicts with the other document. 2015, c. 26, s. 26(9).

Where do I send written submissions?

To submit written feedback please send to the Planning Department:

In person or mail

66 Grand River Street North

Paris, ON N3L 2M2

Office hours are Monday to Friday, 8:30 am – 4:30 pm

519.44BRANT (519.442.7268) or toll-free 1.855.44BRANT

Planner: Lauren Graham, 519.44BRANT x3059, lauren.graham@brant.ca

How do I submit a written request to the County of Brant Deputy Clerk?

To submit written request for notifications regarding this application, please contact County Clerk:

In person or mail

County Clerk c/o The County of Brant

66 Grand River Street North

Paris, ON N3L 2M2

Email: clerks@brant.ca

To view the application, supporting documents and draft Bylaw, please contact the Planning Department, contact information mentioned above.

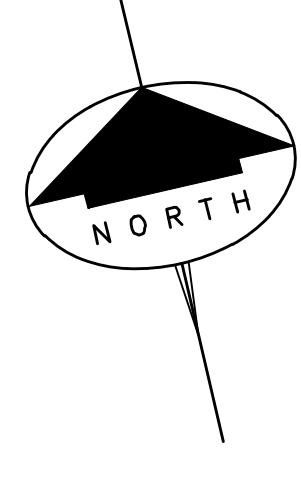
** Note: Under the authority of the Municipal Act, 2001 and in accordance with Ontario's Municipal Freedom of Information and Protection of Privacy Act (MFIPPA), The Corporation of the County of Brant wishes to inform the public that all information including opinions, presentations, reports and documentation provided for or at a Public Meeting, Public Consultation, or other Public Process are considered part of the public record. This information may be posted on the County's website and/or made available to the public upon request.*

LEGEND:

EXISTING ELEVATIONS

NOTES:

1. ALL LIGHTING TO BE DARK SKY COMPLIANT.
(WALL PACKS ON BACKSIDE OF BUILDING)



PLEASANT RIDGE ROAD



SITE STATISTICS - OVERALL SITE

ITEM	EXISTING	ZONING BYLAW REQUIREMENTS	COMPLIANCE
			MEETS REQUIREMENTS X VIOLATION REQUIRED
ZONING CATEGORY	RR	RR	✓
LOT AREA (sq. m.)	6265.26	4,000 MIN.	✓
LOT FRONTAGE (m)	106.84	40.00 MIN.	✓
GROUND FLOOR AREA (sq. m.)	EX. DWELINGS = 202.7 EX. BUILDING 'A' = 238.52 EX. BUILDING 'B' = 23.85 EX. LEAN-TO = 37.73 TOTAL = 561.2	30% MAX.	✓
LOT COVERAGE	8.95%	30% MAX.	✓
STREET SETBACK (m)	7.34	20.00 MIN.	✓
REAR YARD (m)	47.00	15.00 MIN.	✓
SIDE YARD (m)	2.28	5.00 MIN.	✓
NUMBER OF PARKING SPACES	2	2	✓
PERCENTAGE OF LOT LANDSCAPED	37.0%	30% MIN.	✓
BUILDING HEIGHT (m)	<10.50	10.50 MAX.	✓

* LEGAL NON-CONFORMING

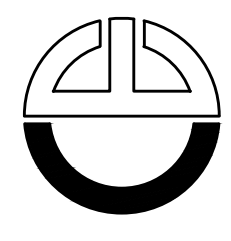
SITE STATISTICS - ACCESSORY

ITEM	EXISTING	ZONING BYLAW REQUIREMENTS	COMPLIANCE
			MEETS REQUIREMENTS X VIOLATION REQUIRED
ZONING CATEGORY	RR	RR	✓
LOT AREA (sq. m.)	6265.26	4,000 MIN.	✓
LOT FRONTAGE (m)	106.84	40.00 MIN.	✓
GROUND FLOOR AREA (sq. m.)	EX. BUILDING 'A' = 206.92 EX. BUILDING 'B' = 23.85 EX. LEAN-TO = 37.73 TOTAL = 368.50	140.00sq.m. MAX.	X
LOT COVERAGE	5.7%	-	✓
STREET SETBACK (m)	32.92	20.00 MIN.	✓
REAR YARD (m)	8.59	1.50 MIN.	✓
SIDE YARD (m)	10.73	1.50 MIN.	✓
NUMBER OF PARKING SPACES	8	4**	✓
BUILDING HEIGHT (m)	5.00	5.00 MAX.	✓

* A HOME BASED BUSINESS, INCLUDING RELATED ACTIVITIES AND STORAGE, SHALL NOT EXCEED 50.00sq.m. OF THE GROSS FLOOR AREA OF THE DWELLING UNIT AND ANY AND ALL RESIDENTIAL ACCESSORY STRUCTURES ON THE PROPERTY (PLUS 1 EMPLOYEE ALLOWED IN ADDITION TO PROPRIETOR, PROVIDED 1 ADDITIONAL PARKING SPACE IS AVAILABLE)

** CALCULATION BASED ON 1 PARKING SPACE PER 100sq.m. OF G.F.A.

T.B.M. No.	1	ELEV. = 247.97m	(GEO)
TOP OF EXISTING DRILLED WELL ON SUBJECT PROPERTY AS SHOWN.			
5	SITE STAT'S CHART UPDATE	11/12/25	S.L.M.
4	EX. LEAN-TO	11/12/25	S.L.M.
3	10.0m BUFFER	10/02/25	S.L.M.
2	NATURAL HERITAGE AREA	09/29/25	S.L.M.
1	HOME-BASED BUSINESS AREA	09/19/25	S.L.M.
NO.	REVISION	DATE (MM/DD/YY)	BY



**J.H. COHOON
ENGINEERING
LIMITED**
CONSULTING ENGINEERS

440 HARRY ROAD - UNIT #1 - BRANTFORD - ONTARIO - N3T 5J8
TEL: (519) 753-2656 FAX: (519) 753-4263 www.cohooneg.com

PROJECT:
**HOME BASED BUSINESS
OPERATION
PART OF BLOCK 4
IN THE KERR TRACT**
GEOGRAPHIC TOWNSHIP OF BRANTFORD
152 PLEASANT RIDGE ROAD
COUNTY OF BRANT

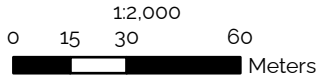
CLIENT:
COURTNEY JOHNSTON

PROPERTY SKETCH

DESIGN:	R.W.P.	SCALE:	1:250
DRAWN:	K.P.B./S.L.M.	JOB No:	14126
CHECKED:	R.W.P.	DWG. No:	14126-SK1
SHEET:	1 of 1	DATE:	APR. 28 / 25

MAP 3: AERIAL IMAGERY 2024
FILE NUMBER
ZBA18-25-LG

152 Pleasant Ridge Road
County of Brant
Ontario



Date Printed: 2025-10-06



Key Map

